

To:	Larson Construction	Project:	East Hall Renovation
Date:	08.11.2025	Project #:	25030
Owner:	Kirkwood Community College	Transmit Via:	Email

The information contained in this Addendum modifies, supplements, or replaces information contained in the original Permit Set dated July 23rd, 2026, as noted below. This information is hereby made a part of the Construction Documents.

Acknowledge receipt of this Addendum by placing the appropriate addendum number in the blank on the Bid Form. Failure to do so may subject the bidder to disqualification.

GENERAL CLARIFICATIONS

ITEMS APPLICABLE TO THE Project in General:

1. PRE-BID MEETING

- a. See attached Agenda and Sign-In Sheet, Construction Schedule, and Subcontractor Prequalification to Bid List.

2. ALL BID PACKAGES

- a. Please ensure coordination of operations that may result in high levels of noise and vibration, odors or other disruption with Larson and Owner.

3. BID PACKAGE #1

- a. **DELETE** Section 03 0130 from Bid Package scope of work. This section does not exist.
- b. **ADD** Section 05 5000 Metal Fabrications to Bid Package scope of work. This Bid Package shall provide and install Section 05 5000 Metal Fabrications.
- c. **DELETE** Section 06 6400 from Bid Package scope of work. This section does not exist.
- d. **DELETE** Section 07 4265 from Bid Package scope of work. This section does not exist.
- e. **ADD** Section 07 4646 Fiber Cement Siding to Bid Package scope of work. This Bid Package shall provide and install Section 07 4646 Fiber Cement Siding.
- f. **DELETE** Section 07 7100 from Bid Package scope of work. This section does not exist.
- g. **DELETE** Section 07 7200 from Bid Package scope of work. This section does not exist.
- h. **DELETE** Section 10 2223 from Bid Package scope of work.
- i. **DELETE** Section 10 2226 from Bid Package scope of work. This section does not exist.
- j. **ADD** Section 12 2413 Roller Window Shades to Bid Package scope of work. This Bid Package shall provide and install Section 12 2413 Roller Window Shades.

4. BID PACKAGE #2

- a. **DELETE** Section 10 2600 from Bid Package scope of work.

5. BID PACKAGE #4

- a. **ADD** Section 10 2223 Hanging Panels to Bid Package scope of work. This Bid Package shall provide and install Section 10 2223 Hanging Panels.

6. BID PACKAGE #5

- a. Egress through stairs to be maintained at all times. Flooring work in all stairs to be completed during off-hours.

7. BID PACKAGE #6

- a. **ADD** Section 09 9000 Painting and Coating to Bid Package Scope of Work.
- b. **DELETE** Section 09 9123 from Bid Package scope of work. This section does not exist.
- c. **DELETE** Section 09 9300 from Bid Package scope of work. This section does not exist.

8. BID PACKAGE #8

- a. See Drawing Sheet M510 for mechanical units provided by Owner. Contractor shall be responsible for the unloading, storing, and complete installation of Owner provided mechanical equipment.

SPECIFICATIONS

INFORMATION RELATED TO Specifications:

1. SECTION 000102 – TABLE OF CONTENTS

- a. **ADD** 084113 – ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS.
- b. **DELETE** 102239 – OPERABLE PARTITIONS. This Section does not exist.

2. SECTION 024119 – SELECTIVE DEMOLITION

- a. **ADD** Section 024119 – Selective Demolition. See attached.

3. SECTION 23 09 00 – BUILDING AUTOMATION SYSTEM

- a. **DELETE** entire section.

DRAWINGS

INFORMATION RELATED TO Drawings:

ARCHITECTURAL

1. SHEET A000 – Cover Sheet

- a. **DELETE** Remediation Plans.
- b. **ADD** Key Plans. See attached.

2. SHEET AD111.A – Demolition Floor Plan – Level 1 – Area A

SHEET AD111.B – Demolition Floor Plan – Level 1 – Area B

SHEET AD112.A – Demolition Floor Plan – Level 2 – Area A

SHEET AD112.B – Demolition Floor Plan – Level 2 – Area B

- a. **REVISE** Keynote #3 as follows: "EXISTING LUXURY VINYL TILE - MAINTAIN & PROTECT. REMOVE, CUT, AND REINSTALL PLANKS AS NECESSARY FOR NEW WALL. EXISTING WALL BASE - DEMOLISH & REMOVE. INSTALL NEW WALL BASE." See attached sheets AD111.A & AD112.A for keynote locations and scope of work.
- b. **ADD** Keynote #16 as follows: "EXISTING CARD READERS – REMOVE & SALVAGE TO OWNER." See attached sheets AD112.A & AD112.B for keynote locations and scope of work.
- c. **ADD** Keynote #17 as follows: "EXISTING PLASTIC LAMINATE COUNTERTOP - DEMOLISH & REMOVE. EXISTING CABINETS - MAINTAIN & PROTECT. PATCH & REPAIR WALL AS REQUIRED." See attached sheets AD112.B for keynote locations and scope of work.

3. SHEET AD112.B – Demolition Floor Plan – Level 2 – Area B

- a. **DELETE** Keynote #4 in room ELEC. 2079A.

4. SHEET A111.A – New Floor Plan – Level 1 – Area A

SHEET A111.B – New Floor Plan – Level 1 – Area B

SHEET A112.A – New Floor Plan – Level 2 – Area A

SHEET A112.B – New Floor Plan – Level 2 – Area B

- a. **ADD** Keynote #12 as follows: "PATCH / INFILL CONCRETE AS REQUIRED PER MECHANICAL, ELECTRICAL, & / OR PLUMBING DEMOLITION WORK & INSTALLATION. SEE MEP DRAWINGS." See attached sheets A111.A & A111.B for keynote locations and scope of work.
 - b. **ADD** Keynote #13 as follows: "NEW COUNTERTOP ON EXISTING CASEWORK – SEE INTERIOR ELEVATIONS." See attached sheet A112.B for keynote locations and scope of work.
- 5. SHEET A112.B – New Floor Plan – Level 2 – Area B**
- a. **REVISE** keynotes in room COFFEE 2085 as shown, see attached sheet.
 - b. **DELETE** casework in room COPY 2087 as shown, see attached sheet.
 - c. **ADD** elevation annotation in room BOARDROOM 2082 as shown, see attached sheet.
- 6. SHEET A121.A – New Reflected Ceiling Plan – Level 1 – Area A**
SHEET A121.B – New Reflected Ceiling Plan – Level 1 – Area B
SHEET A122.A – New Reflected Ceiling Plan – Level 2 – Area A
SHEET A122.B – New Reflected Ceiling Plan – Level 2 – Area B
- a. **REVISE** Keynote #1 as follows: "EXISTING GYPSUM BOARD SOFFIT – MAINTAIN & PROTECT. PAINT."
- 7. SHEET A121.B – New Reflected Ceiling Plan – Level 1 – Area B**
- a. **REVISE** "NOT IN PROJECT SCOPE AREA" at open stairwell, see attached sheet.
- 8. SHEET A131.A – New Finish Plan – Level 1 – Area A**
SHEET A131.B – New Finish Plan – Level 1 – Area B
SHEET A132.A – New Finish Plan – Level 2 – Area A
SHEET A132.B – New Finish Plan – Level 2 – Area B
- a. **ADD** Legend elements as follows and see attached sheets A131.A, A132.A, & A132.B for locations and scope of work:
 - i. "NOT IN PROJECT SCOPE - MAINTAIN & PROTECT ALL EXISTING."
 - ii. "NEW CONSTRUCTION."
 - iii. "EXISTING CONSTRUCTION - MAINTAIN & PROTECT."
 - iv. "EXISTING LUXURY VINYL PLANK (MAINTAIN & PROTECT)"
 - b. **REVISE** Keynote #3 as follows: "EXISTING LUXURY VINYL TILE - MAINTAIN & PROTECT. REMOVE, CUT, AND REINSTALL PLANKS AS NECESSARY FOR NEW WALL. EXISTING WALL BASE - DEMOLISH & REMOVE. INSTALL NEW WALL BASE." See attached sheets A131.A & A132.A for locations and scope of work.
 - c. **ADD** Keynote #6 as follows: "EXISTING STAIRS - MAINTAIN & PROTECT EXISTING CERAMIC TILE TREADS. PAINT RISERS, GUARDRAILS, & STRINGERS." See attached sheet A132.B for locations and scope of work.
- 9. SHEET A132.B – New Finish Plan – Level 2 – Area B**
- a. **REVISE** Solid Surface Chair Rail wall locations in room BOARDROOM 2082 as shown, see attached sheet.
 - b. **DELETE** casework in room COPY 2087 as shown, see attached sheet.
- 10. SHEET A141 – New Roof Plan**
- a. **REVISE** detail 2/A141 as shown, see attached sheet.
 - b. **ADD** details 3/A141 & 4/A141 as shown, see attached sheet.
- 11. SHEET A401 – Interior Elevations**
SHEET A402 - Interior Elevations
- a. **REVISE** Keynote #17 as follows: "STAINLESS STEEL UNDERMOUNT SINK."

12. SHEET A401 – Interior Elevations

- a. **DELETE** elevation 4/A401 – D casework as shown, see attached sheet.
- b. **REVISE** elevation 5/A401 – A & B as shown, see attached sheet.
- c. **ADD** elevation 6/A401 as shown, see attached sheet.

13. SHEET A451 – Casework Details

- a. **ADD** detail 7/A451 as shown, see attached sheet.

14. SHEET A452 – Casework Details

- a. **REVISE** detail 3/A452 as shown, see attached sheet.

15. SHEET A601 – Room Finish Schedule & Legend

- a. **ADD** Room Finish Schedule Remarks #3 as follows: "PAINT SOFFIT & DRYWALL CONSTRUCTION OF SKYLIGHT." See attached sheet for Room Finish Schedule locations.
- b. **ADD** Room Finish Schedule rooms as follows and see attached sheet for finishes:
 - i. OFFICE 2108
 - ii. MEETING 2110
 - iii. STAIR 01 ST-01
 - iv. STAIR 02 ST-02
 - v. STAIR 03 ST-03

STRUTURAL

1. SHEET S001 – STRUCTURAL NOTES AND DETAILS

- a. **ADD** General Foundation Notes and Concrete Notes. See attached.
- b. **REVISE** Title to read "BID SET". See attached.

2. SHEET S111.A – STRUCTURAL FRAMING PLANS

- a. **ADD** Sheet. See attached.

3. SHEET S112.A – STRUCTURAL FRAMING PLANS

- a. **REVISE** Title to read "BID SET". See attached.

MEP

1. SHEET E520 - Electrical Lighting Schedules and Controls

- a. Refer to the Light Fixture Schedule
 - i. **ADD**: LUX EOS 4.0 for types LB4, LB6, and LB8 as an approved manufacturer.
 - ii. **REMOVE**: A WE MELUNA ACOUSTIC for type LD as an approved manufacturer.

SUBSTITUTION REQUESTS

INFORMATION RELATED TO Drawings:

1. 095113 – ACOUSTICAL PANEL CEILINGS

- a. ACOUSTICAL PANEL CEILING SPECIFIED: Armstrong Optima #3250PB
 - i. SUBSTITUTION: USG Mars High-NRC #88138 (90 NRC) – NOT APPROVED
 - 1. Existing adjacent ceiling panels to remain are Armstrong Optima #3250PB. New ceiling panels to match.
 - ii. SUBSTITUTION: USG Mars High-NRC #88138 (90 NRC) – NOT APPROVED
 - 1. Existing adjacent ceiling panels to remain are Armstrong Optima #3250PB. New ceiling panels to match.

2. 102223 – HANGING PANELS

- a. PRODUCT SPECIFIED: FilzFelt Hanging Divider Panel
 - i. SUBSTITUTION: Golterman & Sabo aCapella Partitions Divider – NOT APPROVED
 - 1. Standard colors do not include match to specified product.

ATTACHMENTS

Specification Sections:

024119 – Selective Demolition

Drawings:

A000 – Cover Sheet
AD111.A – Demolition Floor Plan – Level 1 – Area A
AD112.A – Demolition Floor Plan – Level 2 – Area A
AD112.B – Demolition Floor Plan – Level 2 – Area B
A111.A – New Floor Plan – Level 1 – Area A
A111.B – New Floor Plan – Level 1 – Area B
A112.B – New Floor Plan – Level 2 – Area B
A121.B – New Reflected Ceiling Plan – Level 1 – Area B
A131.A – New Finish Plan – Level 1 – Area A
A132.A – New Finish Plan – Level 2 – Area A
A132.B – New Finish Plan – Level 2 – Area B
A141 – New Roof Plan
A401 – Interior Elevations
A451 – Casework Details
A452 – Casework Details
A601 – Room Finish Schedule & Legend
S001 – Structural Note and Details
S111.A – Structural Framing Plans
S112.A – Structural Framing Plans

Substitution Requests:

095113 – ACOUSTICAL PANEL CEILINGS
102223 – HANGING PANELS

Other:

Pre-Bid Agenda & Sign-In Sheet
Construction Schedule
Subcontractor Prequalification to Bid List

BY: Elyse Garlock

CC: Kirkwood Facilities Team
Design Engineers
M2B Structural Engineers

SECTION 024119 - SELECTIVE DEMOLITION

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

1. Demolition and removal of selected portions of building or structure.
2. Demolition and removal of selected site elements.
3. Salvage of existing items to be reused or recycled.

1.2 MATERIALS OWNERSHIP

- A. Unless otherwise indicated, demolition waste becomes property of Contractor.

1.3 PREINSTALLATION MEETINGS

- A. Predemolition Conference: Conduct conference at Project site.

1.4 INFORMATIONAL SUBMITTALS

- A. Proposed Protection Measures: Submit report, including Drawings, that indicates the measures proposed for protecting individuals and property, for dust control and for noise control. Indicate proposed locations and construction of barriers.
- B. Schedule of selective demolition activities with starting and ending dates for each activity.
- C. Statement of Refrigerant Recovery: Signed by refrigerant recovery technician.

1.5 CLOSEOUT SUBMITTALS

- A. Inventory of items that have been removed and salvaged.

1.6 QUALITY ASSURANCE

- A. Refrigerant Recovery Technician Qualifications: Certified by an EPA-approved certification program.

1.7 FIELD CONDITIONS

- A. Owner will occupy portions of building immediately adjacent to selective demolition area. Conduct selective demolition so Owner's operations will not be disrupted.
- B. Conditions existing at time of inspection for bidding purpose will be maintained by Owner as far as practical.
- C. Notify Architect of discrepancies between existing conditions and Drawings before proceeding with selective demolition.
- D. Hazardous Materials: It is not expected that hazardous materials will be encountered in the Work.
 - 1. Hazardous materials will be removed by Owner before start of the Work.
 - 2. If suspected hazardous materials are encountered, do not disturb; immediately notify Architect and Owner. Hazardous materials will be removed by Owner under a separate contract.
- E. Storage or sale of removed items or materials on-site is not permitted.
- F. Utility Service: Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations.
 - 1. Maintain fire-protection facilities in service during selective demolition operations.
- G. Arrange selective demolition schedule so as not to interfere with Owner's operations.

1.8 WARRANTY

- A. Existing Warranties: Remove, replace, patch, and repair materials and surfaces cut or damaged during selective demolition, by methods and with materials and using approved contractors so as not to void existing warranties.

PART 2 - PRODUCTS

2.1 PERFORMANCE REQUIREMENTS

- A. Regulatory Requirements: Comply with governing EPA notification regulations before beginning selective demolition. Comply with hauling and disposal regulations of authorities having jurisdiction.
- B. Standards: Comply with ASSE A10.6 and NFPA 241.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Verify that utilities have been disconnected and capped before starting selective demolition operations.
- B. Inventory and record the condition of items to be removed and salvaged.

3.2 PREPARATION

- A. Refrigerant: Before starting demolition, remove refrigerant from mechanical equipment according to 40 CFR 82 and regulations of authorities having jurisdiction.

3.3 UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS

- A. Existing Services/Systems to Remain: Maintain services/systems indicated to remain and protect them against damage.
- B. Existing Services/Systems to Be Removed, Relocated, or Abandoned: Locate, identify, disconnect, and seal or cap off utility services and mechanical/electrical systems serving areas to be selectively demolished.
 - 1. Owner will arrange to shut off indicated services/systems when requested by Contractor.
 - 2. Arrange to shut off utilities with utility companies.
 - 3. If services/systems are required to be removed, relocated, or abandoned, provide temporary services/systems that bypass area of selective demolition and that maintain continuity of services/systems to other parts of building.
 - 4. Disconnect, demolish, and remove fire-suppression systems, plumbing, and HVAC systems, equipment, and components indicated on Drawings to be removed.
 - a. Piping to Be Removed: Remove portion of piping indicated to be removed and cap or plug remaining piping with same or compatible piping material.
 - b. Piping to Be Abandoned in Place: Drain piping and cap or plug piping with same or compatible piping material and leave in place.
 - c. Equipment to Be Removed: Disconnect and cap services and remove equipment.
 - d. Equipment to Be Removed and Reinstalled: Disconnect and cap services and remove, clean, and store equipment; when appropriate, reinstall, reconnect, and make equipment operational.
 - e. Equipment to Be Removed and Salvaged: Disconnect and cap services and remove equipment and deliver to Owner.
 - f. Ducts to Be Removed: Remove portion of ducts indicated to be removed and plug remaining ducts with same or compatible ductwork material.
 - g. Ducts to Be Abandoned in Place: Cap or plug ducts with same or compatible ductwork material and leave in place.

3.4 PROTECTION

- A. Temporary Protection: Provide temporary barricades and other protection required to prevent injury to people and damage to adjacent buildings and facilities to remain.
- B. Temporary Shoring: Design, provide, and maintain shoring, bracing, and structural supports as required to preserve stability and prevent movement, settlement, or collapse of construction and finishes to remain, and to prevent unexpected or uncontrolled movement or collapse of construction being demolished.
- C. Remove temporary barricades and protections where hazards no longer exist.

3.5 SELECTIVE DEMOLITION

- A. General: Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the Work within limitations of governing regulations and as follows:
 - 1. Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping. Temporarily cover openings to remain.
 - 2. Cut or drill from the exposed or finished side into concealed surfaces to avoid marring existing finished surfaces.
 - 3. Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, such as duct and pipe interiors, verify condition and contents of hidden space before starting flame-cutting operations. Maintain portable fire-suppression devices during flame-cutting operations.
 - 4. Maintain fire watch during and for at least two hours after flame-cutting operations.
 - 5. Locate selective demolition equipment and remove debris and materials so as not to impose excessive loads on supporting walls, floors, or framing.
 - 6. Dispose of demolished items and materials promptly.
- B. Site Access and Temporary Controls: Conduct selective demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and other adjacent occupied and used facilities.
- C. Removed and Salvaged Items:
 - 1. Clean salvaged items.
 - 2. Pack or crate items after cleaning. Identify contents of containers.
 - 3. Store items in a secure area until delivery to Owner.
 - 4. Transport items to Owner's storage area designated by Owner.
 - 5. Protect items from damage during transport and storage.
- D. Removed and Reinstalled Items:
 - 1. Clean and repair items to functional condition adequate for intended reuse.
 - 2. Pack or crate items after cleaning and repairing. Identify contents of containers.

3. Protect items from damage during transport and storage.
 4. Reinstall items in locations indicated. Comply with installation requirements for new materials and equipment. Provide connections, supports, and miscellaneous materials necessary to make item functional for use indicated.
- E. Existing Items to Remain: Protect construction indicated to remain against damage and soiling during selective demolition. When permitted by Architect, items may be removed to a suitable, protected storage location during selective demolition and cleaned and reinstalled in their original locations after selective demolition operations are complete.

3.6 CLEANING

- A. Remove demolition waste materials from Project site and recycle or dispose of them according to Section 017419 "Construction Waste Management and Disposal."
1. Do not allow demolished materials to accumulate on-site.
 2. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas.
 3. Remove debris from elevated portions of building by chute, hoist, or other device that will convey debris to grade level in a controlled descent.
 4. Comply with requirements specified in Section 017419 "Construction Waste Management and Disposal."
- B. Burning: Do not burn demolished materials.
- C. Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. Return adjacent areas to condition existing before selective demolition operations began.

END OF SECTION 024119

THIS PAGE INTENTIONALLY LEFT BLANK

Kirkwood East Hall - Remodel

1025 Kirkwood Pkwy SW, Cedar Rapids, IA 52404

SOLU
LANG

ARCHITECTS

1101 Old Marion Rd
NE
Cedar Rapids, Iowa
52402
t: 319.802.0384

All reports, plans, specifications, computer files, field data, notes, and other documents and instruments prepared by Solum Lang Architects, LLC as instruments of service shall remain the property of Solum Lang Architects, LLC. Solum Lang Architects, LLC shall retain all common law, statutory and other reserved rights, including copyright thereto.

REVISION
ISSUE
DATE & TITLE

02 08.11.26 ADD. 02

1025 Kirkwood Pkwy SW
Cedar Rapids, IA 52404

Kirkwood East Hall - Remodel
Cover Sheet

DATE

07.23.2026

DRAWING NUMBER

A000

PROJECT NUMBER

25030

INDEX

A000 Cover Sheet
A001 Code Review
A002 ADA Clearances & Mounting Heights

ARCHITECTURAL

A000 Cover Sheet
A001 Code Review
A002 ADA Clearances & Mounting Heights
AD111.A Demolition Floor Plan - Level 1 - Area A
AD111.B Demolition Floor Plan - Level 1 - Area B
AD112.A Demolition Floor Plan - Level 2 - Area A
AD112.B Demolition Floor Plan - Level 2 - Area B
AD121.A Demolition Reflected Ceiling Plan - Level 1 - Area A
AD121.B Demolition Reflected Ceiling Plan - Level 1 - Area B
AD122.A Demolition Reflected Ceiling Plan - Level 2 - Area A
AD122.B Demolition Reflected Ceiling Plan - Level 2 - Area B
AD141 Demolition Roof Plan
A111.A New Floor Plan - Level 1 - Area A
A111.B New Floor Plan - Level 1 - Area B
A112.A New Floor Plan - Level 2 - Area A
A112.B New Floor Plan - Level 2 - Area B
A121.A New Reflected Ceiling Plan - Level 1 - Area A
A121.B New Reflected Ceiling Plan - Level 1 - Area B
A122.A New Reflected Ceiling Plan - Level 2 - Area A
A122.B New Reflected Ceiling Plan - Level 2 - Area B
A131.A New Finish Plan - Level 1 - Area A
A131.B New Finish Plan - Level 1 - Area B
A132.A New Finish Plan - Level 2 - Area A
A132.B New Finish Plan - Level 2 - Area B
A141 New Roof Plan
A201 New Exterior Elevations
A401 Interior Elevations
A402 Interior Elevations
A451 Casework Details
A452 Casework Details
A601 Room Finish Schedule & Legend
A602 Door & Window Schedule

STRUCTURAL

S001 STRUCTURAL NOTES AND DETAILS
S112.A STRUCTURAL FRAMING PLANS

FIRE SUPPRESSION

FX000 Fire Suppression Notes and Symbols
FXD111.A Fire Suppression Demolition Plan - Level 1 - Area A
FXD112.A Fire Suppression Demolition Plan - Level 2 - Area A
FX111.A Fire Suppression Plan - Level 1 - Area A
FX112.A Fire Suppression Plan - Level 2 - Area A

PLUMBING

P000 Plumbing Notes and Symbols
PD111.B Plumbing Demolition Plan - Level 1 - Area B
PD112.B Plumbing Demolition Plan - Level 2 - Area B
PD133 Overall Plumbing Demolition Roof Plan
P110.A Plumbing Underslab Plan - Area A
P111.A Plumbing Plan - Level 1 Area A
P111.B Plumbing Plan - Level 1 Area B
P112.A Plumbing Plan - Level 2 Area A
P112.B Plumbing Plan - Level 2 Area B
P133 Overall Plumbing Roof Plan
P400 Plumbing Isometrics
P500 Plumbing Schedules and Details

MECHANICAL

M000 Mechanical Notes and Symbols
MD121.A Ductwork Demolition Plan - Level 1 - Area A
MD121.B Ductwork Demolition Plan - Level 1 - Area B
MD122.A Ductwork Demolition Plan - Level 2 - Area A
MD122.B Ductwork Demolition Plan - Level 2 - Area B
MD133 Overall Mechanical Demolition Plan - Roof
M111.A Diffuser Plan - Level 1 - Area A
M111.B Diffuser Plan - Level 1 - Area B
M112.A Diffuser Plan - Level 2 - Area A
M112.B Diffuser Plan - Level 2 - Area B
M121 Overall Ductwork Plan - Level 1
M121.A Ductwork Plan - Level 1 - Area A
M121.B Ductwork Plan - Level 1 - Area B
M122 Overall Ductwork Plan - Level 2
M122.A Ductwork Plan - Level 2 - Area A
M122.B Ductwork Plan - Level 2 - Area B
M133 Overall Mechanical Plan - Roof
M500 Mechanical Details
M501 Mechanical Temperature Control Schematics
M510 Mechanical Schedules

ELECTRICAL

E000 Electrical Notes and Symbols
ED111.A Electrical Demolition Plan - Level 1 - Area A
ED111.B Electrical Demolition Plan - Level 1 - Area B
ED112.A Electrical Demolition Plan - Level 2 - Area A
ED112.B Electrical Demolition Plan - Level 2 - Area B
ED113 Overall Demolition Plan - Roof
E111.A Lighting Plan - Level 1 - Area A
E111.B Lighting Plan - Level 1 - Area B
E112.A Lighting Plan - Level 2 - Area A
E112.B Lighting Plan - Level 2 - Area B
E211.A Power Plan - Level 1 - Area A
E211.B Power Plan - Level 1 - Area B
E212.A Power Plan - Level 2 - Area A
E212.B Power Plan - Level 2 - Area B
E213 Overall Power Plan Roof
E500 Electrical Schematic Riser Informaion
E510 Electrical Power Schedules
E511 Electrical Power Schedules
E512 Electrical Power Schedules
E520 Electrical Lighting Schedules and Controls
E530 Electrical Details

FIRE ALARM

FA000 Fire Alarm Notes and Symbols
FA111.A Fire Alarm Plan - Level 1 - Area A
FA111.B Fire Alarm Plan - Level 1 - Area B
FA112.A Fire Alarm Plan - Level 2 - Area A
FA112.B Fire Alarm Plan - Level 2 - Area B
FA113 Overall Fire Alarm Plan - Roof

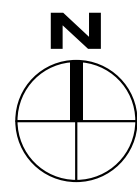
TECHNOLOGY

T000 Technology Notes and Symbols
T111.A Technology Plan - Level 1 - Area A
T111.B Technology Plan - Level 1 - Area B
T112.A Technology Plan - Level 2 - Area A
T112.B Technology Plan - Level 2 - Area B
T400 Technology Enlarged Plans
T401 Technology Enlarged Plans
T500 Technology Schedules and Details
TY000 Security Notes and Symbols
TY111.A Security Plan - Level 1 - Area A
TY111.B Security Plan - Level 1 - Area B
TY112.A Security Plan - Level 2 - Area A
TY112.B Security Plan - Level 2 - Area B
TY500 Security Schedules and Details



LOCATION MAP

EAST HALL
SITE LOCATION



NTS

PROJECT DESCRIPTION

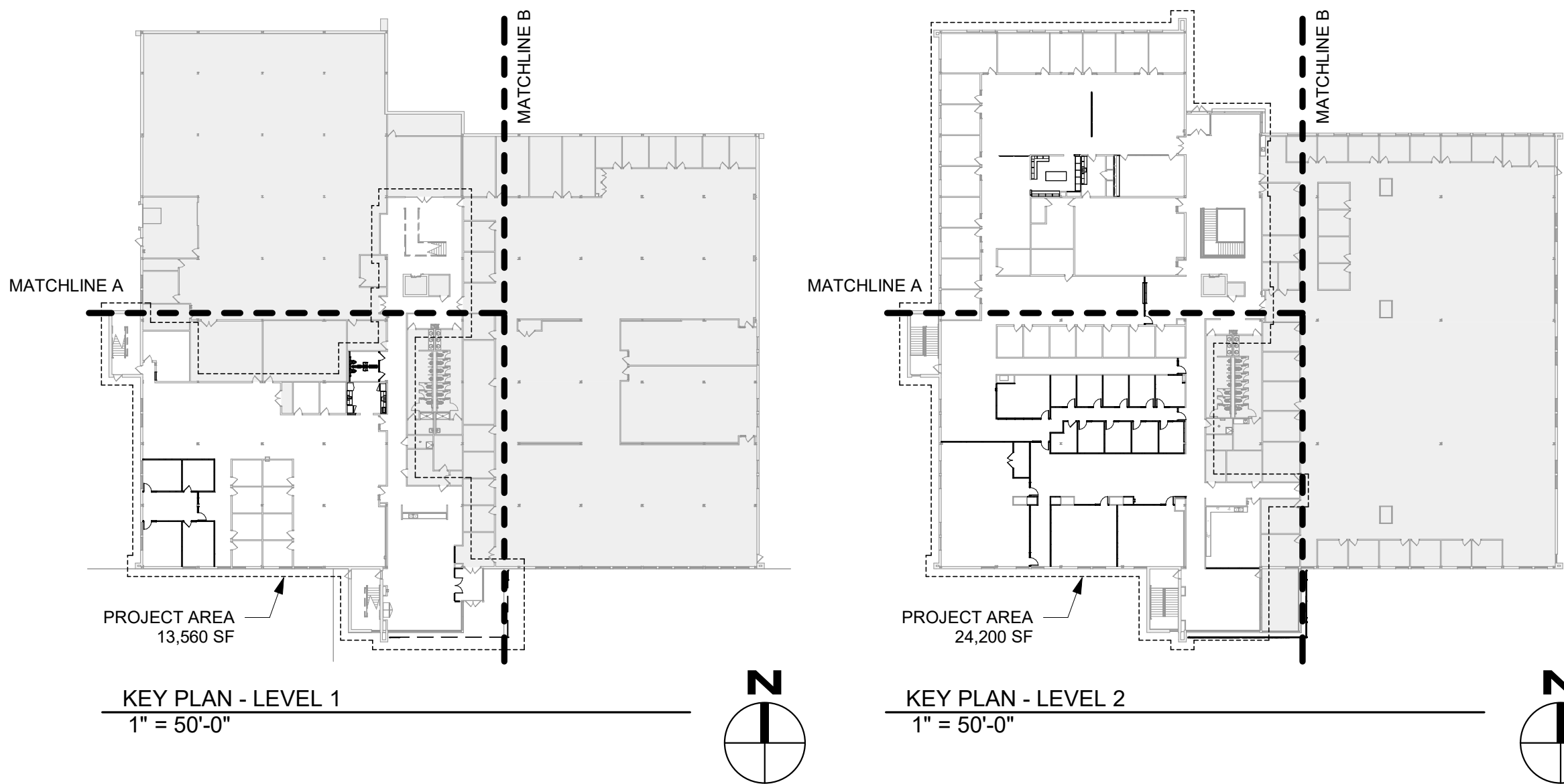
THIS IS A REMODEL OF 50,000 SF ON LEVELS 1 AND 2 OF EAST HALL LOCATED ON THE KIRKWOOD COMMUNITY COLLEGE CAMPUS. THE EXISTING BUILDING IS A 2-STORIES USED FOR GENERAL BUSINESS OCCUPANCY. THE PROJECT SCOPE INCLUDES EXTERIOR SIGNAGE AND THE INTERIOR REMODEL OF EXISTING OFFICE AND SHELL SPACE INTO NEW OFFICES, CONFERENCE ROOMS AND TRAINING SPACES. UPDATES WILL BE MADE TO MECHANICAL AND ELECTRICAL SYSTEMS INCLUDING THE INSTALLATION OF NEW ROOFTOP EQUIPMENT. EXISTING SPRINKLER AND LIFE SAFETY SYSTEMS WILL REMAIN IN PLACE. THE NEW INTERIOR CONSTRUCTION WILL BE DRYWALL WITH STEEL STUDS, BUILT IN CASEWORK, FLOOR, WALL AND CEILING FINISHES.

ALTERNATES

ALTERNATE 01: EXTERIOR SIGNAGE STRUCTURE

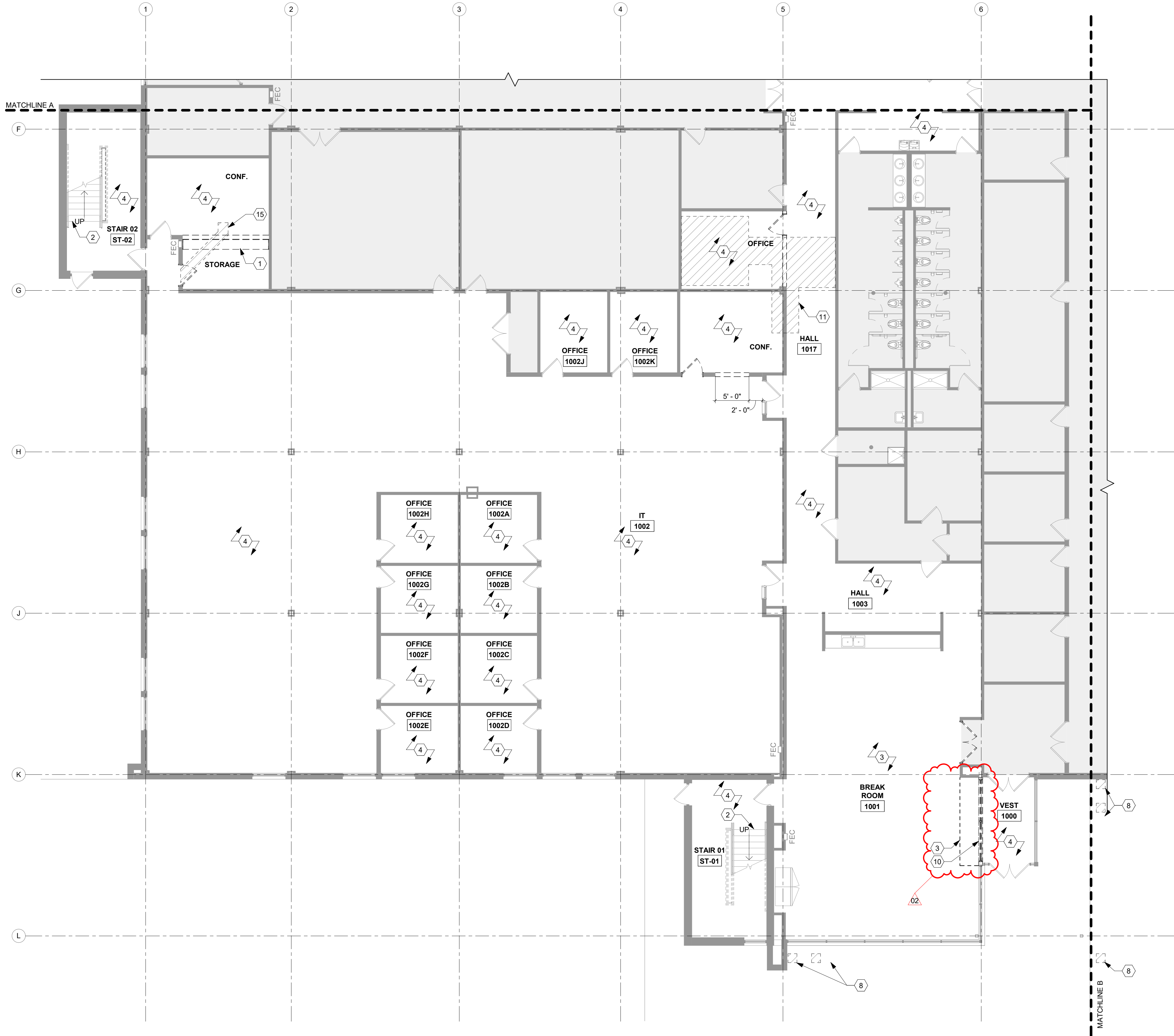
- **BASE BID:** NO WORK
- **ALTERNATE:** NEW GROUND MOUNTED - SELF SUPPORTED SIGN ELEMENT W/ NEW CONCRETE FOUNDATION SYSTEM, CUSTOM PERFORATED PANELS, ALUMINUM LETTERS ON STANDOFFS, & LED LIGHTING.

KEY PLANS



PRINT IN COLOR

BID SET



1 DEMOLITION FLOOR PLAN - LEVEL 1 - Area A (Southwest)
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

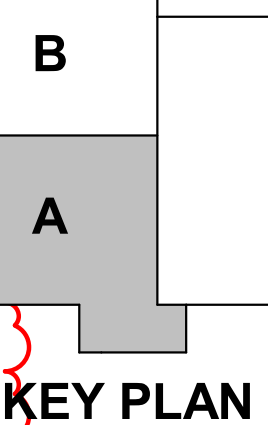
1. CONTRACTORS & MATERIAL SUPPLIERS SHALL FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS ASSOCIATED WITH THE WORK & REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY, PRIOR TO COMMENCING WORK.
2. REFERENCE ENGINEERING DRAWINGS FOR ALL DEMOLITION / PROTECTION OF EXISTING MECHANICAL, ELECTRICAL, & PLUMBING EQUIPMENT.
3. DEMOLISH & REMOVE OR REMOVE & SALVAGE EXISTING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, CASEWORK, WALL, & DOORS WHERE SHOWN BY DASHED LINES. DASHED LINES ARE REPRESENTATIONAL. PERFORM ALL DEMOLITION NECESSARY TO PROVIDE A COMPLETE PROJECT AS DESCRIBED BY ALL CONSTRUCTION DOCUMENTS.
4. EXISTING WINDOWS, SILLS, & SHADES - MAINTAIN & PROTECT THROUGHOUT UNLESS NOTED OTHERWISE.
5. EXISTING FINISHES - MAINTAIN & PROTECT ALL EXISTING FINISHES TO REMAIN UNLESS NOTED OTHERWISE. REPLACE & REPAIR ALL DAMAGE DUE TO CONSTRUCTION.
6. FURNITURE, FIXTURES, & EQUIPMENT - REMOVE & SALVAGE FOR OWNER USE.
7. THE CONTRACTOR WILL RETAIN ALL SALVAGE THAT IS OF VALUE AS DESIGNATED BY THE OWNER'S REPRESENTATIVE. THE OWNER WILL DIRECT THE CONTRACTOR AS TO THE LOCATION OF SALVAGE STORAGE AREA FOR VARIOUS ITEMS.
8. THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING DEBRIS & ITEMS NOT DETAINED BY THE OWNER'S REPRESENTATIVE FROM THE CONSTRUCTION SITE & THE BUILDING.
9. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING CODE REQUIRED EGRESS DURING CONSTRUCTION.
10. THE OWNER WILL PERFORM INSPECTIONS UPON COMPLETION OF THE DEMOLITION PHASE & WILL BE RESPONSIBLE FOR COORDINATING & MANAGING ANY REQUIRED ENVIRONMENTAL REMEDIATION, HAZARDOUS MATERIAL HANDLING, SPECIALTY CLEANING, OR OTHER SITE CONDITIONS IDENTIFIED AS A RESULT OF THOSE INSPECTIONS PRIOR TO THE START OF SUBSEQUENT CONSTRUCTION ACTIVITIES.

FLOOR PLAN LEGEND

- NOT IN PROJECT SCOPE - MAINTAIN & PROTECT ALL EXISTING.
- EXISTING WALL - MAINTAIN & PROTECT.
- EXISTING WALL - DEMOLISH & REMOVE.
- EXISTING WINDOW - MAINTAIN & PROTECT.
- EXISTING WINDOW - DEMOLISH & REMOVE.
- EXISTING DOOR & FRAME - MAINTAIN & PROTECT.
- EXISTING DOOR & FRAME - REMOVE & SALVAGE FOR REUSE. SEE NEW WORK FLOOR PLANS FOR NEW LOCATIONS.
- EXISTING CONSTRUCTION - MAINTAIN & PROTECT.
- EXISTING CONSTRUCTION - DEMOLISH & REMOVE.
- EXISTING FIRE EXTINGUISHER CABINET - MAINTAIN & PROTECT.

DEMOLITION PLAN KEYED NOTES

1. EXISTING CASEWORK - DEMOLISH & REMOVE.
2. EXISTING STAIR TREAD, RISER, & NOSING FINISH - MAINTAIN & PROTECT.
3. EXISTING LUXURY VINYL TILE - MAINTAIN & PROTECT. REMOVE, CUT, AND REINSTALL PLANKS AS NECESSARY FOR NEW WALL. EXISTING WALL BASE - DEMOLISH & REMOVE. INSTALL NEW WALL BASE.
4. EXISTING FLOOR FINISHES & WALL BASE - DEMOLISH & REMOVE. PREPARE FOR NEW. SALVAGE FULL CARPET TILES FOR OWNER'S USE.
5. EXISTING SHELL SPACE - MAINTAIN & PROTECT EXISTING CONSTRUCTION. PREPARE EXISTING EXPOSED CONCRETE FLOOR FOR NEW FLOOR FINISHES.
6. EXISTING WINDOW SHADES - REMOVE & SALVAGE TO OWNER.
7. EXISTING PLUMBING FIXTURES - DEMOLISH & REMOVE.
8. EXISTING CONCRETE PAVING - DEMOLISH, REMOVE, & PREPARE FOR NEW REINFORCED CONCRETE & FOUNDATIONS FOR NEW COLUMNS.
9. EXISTING FIRE EXTINGUISHER CABINET - REMOVE & SALVAGE FOR REUSE. SEE NEW WORK FLOOR PLANS FOR NEW LOCATIONS.
10. EXISTING STOREFRONT & WALL - DEMOLISH & REMOVE EXISTING STOREFRONT WINDOWS & WALL BELOW. DEMOLISH & REMOVE WALL ABOVE UP TO 10'-0" A.F.F.
11. EXISTING CONCRETE FLOOR - SAWCUT CLEAN & DEMOLISH FOR PLUMBING WORK. SEE PLUMBING.
12. EXISTING RECEPTION DESK - REMOVE & SALVAGE BY OWNER.
13. EXISTING DECORATIVE LIGHT FIXTURE - DEMOLISH & REMOVE.
14. EXISTING FIBER CEMENT BOARD SIDING - DEMOLISH & REMOVE.
15. EXISTING CONCRETE FLOOR - SAWCUT CLEAN & DEMOLISH FOR ELECTRICAL WORK. SEE ELECTRICAL.
16. EXISTING CARD READERS - REMOVE & SALVAGE TO OWNER.
17. EXISTING PLASTIC LAMINATE COUNTERTOP - DEMOLISH & REMOVE. EXISTING CABINETS - MAINTAIN & PROTECT. PATCH & REPAIR WALL AS REQUIRED.



KEY PLAN
BID SET

SOLU LANG

ARCHITECTS

1101 Old Marion Rd
NE
Cedar Rapids, Iowa
52402
t: 319.802.0384

All reports, plans, specifications, computer files, field data, notes, and other documents and instruments prepared by Solum Lang Architects, LLC as instruments of service shall remain the property of Solum Lang Architects, LLC. Solum Lang Architects, LLC shall retain all common law, statutory and other reserved rights, including copyright thereto.

REVISION

ISSUE

DATE & TITLE

01 08.04.28 ADD. 01

02 08.11.28 ADD. 02

1025 Kirkwood Pkwy SW
Cedar Rapids, IA 52404

Kirkwood East Hall - Remodel
Demolition Floor Plan - Level 1 - Area A

DATE

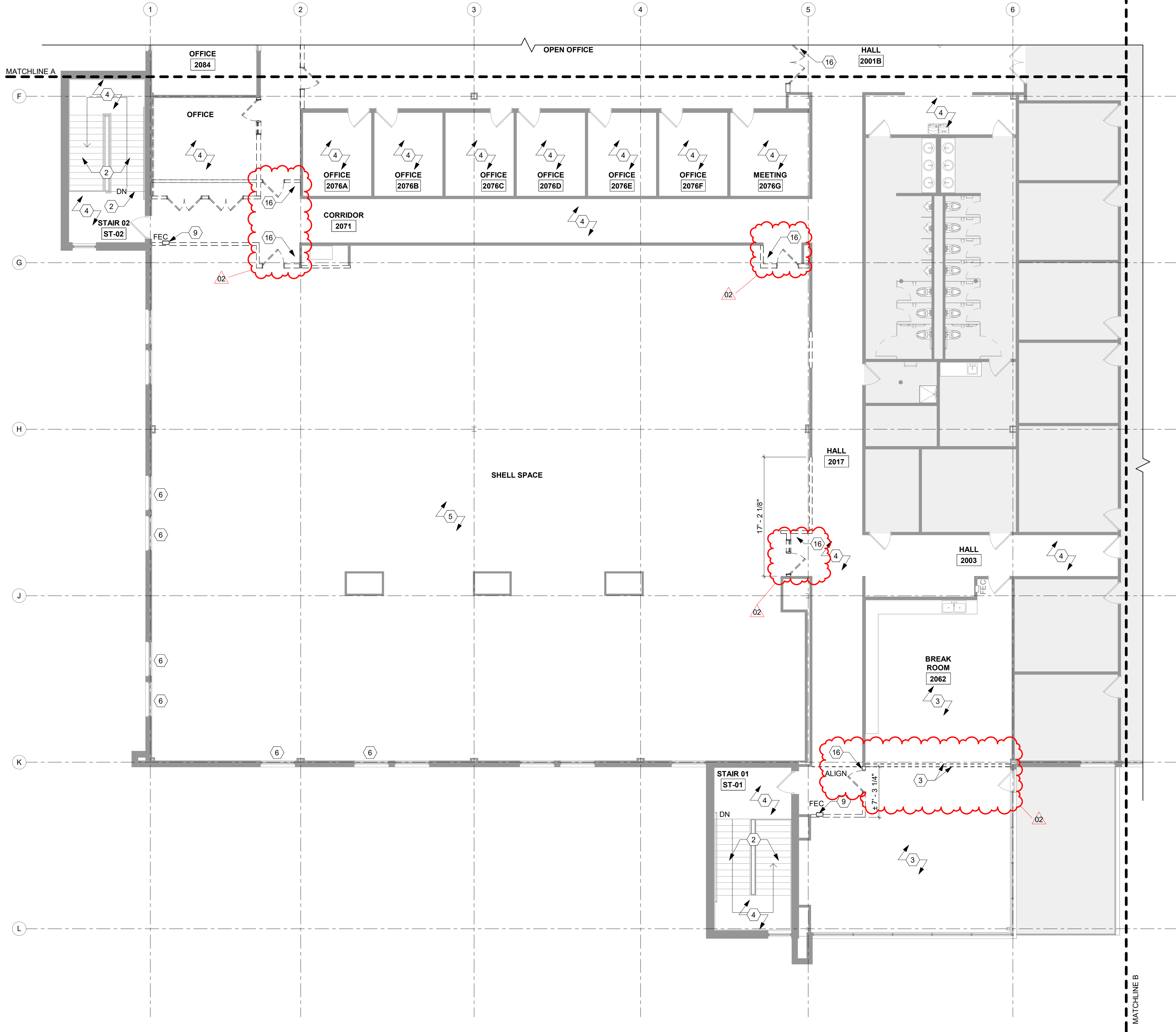
07.23.2026

DRAWING NUMBER

AD111A

PROJECT NUMBER

25030



1 DEMOLITION FLOOR PLAN - LEVEL 2 - Area A (Southwest)
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

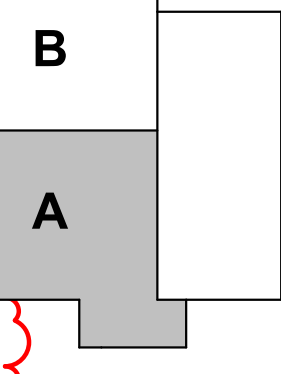
1. CONTRACTORS & MATERIAL SUPPLIERS SHALL FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS ASSOCIATED WITH THE WORK & REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY, PRIOR TO COMMENCING WORK.
2. REFERENCE ENGINEERING DRAWINGS FOR ALL DEMOLITION / PROTECTION OF EXISTING MECHANICAL, ELECTRICAL, & PLUMBING EQUIPMENT.
3. DEMOLISH & REMOVE OR REMOVE & SALVAGE EXISTING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, CASEWORK, WALLS, & DOORS WHERE SHOWN BY DASHED LINES. DASHED LINES ARE REPRESENTATIONAL. PERFORM ALL DEMOLITION NECESSARY TO PROVIDE A COMPLETE PROJECT AS DESCRIBED BY ALL CONSTRUCTION DOCUMENTS.
4. EXISTING WINDOWS, SILLS, & SHADES - MAINTAIN & PROTECT THROUGHOUT UNLESS NOTED OTHERWISE.
5. EXISTING FINISHES - MAINTAIN & PROTECT ALL EXISTING FINISHES TO REMAIN UNLESS NOTED OTHERWISE. REPLACE & REPAIR ALL DAMAGE DUE TO CONSTRUCTION.
6. FURNITURE, FIXTURES, & EQUIPMENT - REMOVE & SALVAGE FOR OWNER USE.
7. THE CONTRACTOR WILL RETAIN ALL SALVAGE THAT IS OF VALUE AS DESIGNATED BY THE OWNER'S REPRESENTATIVE. THE OWNER WILL DIRECT THE CONTRACTOR AS TO THE LOCATION OF SALVAGE STORAGE AREA FOR VARIOUS ITEMS.
8. THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING DEBRIS & ITEMS NOT DETAINED BY THE OWNER'S REPRESENTATIVE FROM THE CONSTRUCTION SITE & THE BUILDING.
9. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING CODE REQUIRED EGRESS DURING CONSTRUCTION.
10. THE OWNER WILL PERFORM INSPECTIONS UPON COMPLETION OF THE DEMOLITION PHASE & WILL BE RESPONSIBLE FOR COORDINATING & MANAGING ANY REQUIRED ENVIRONMENTAL REMEDIATION, HAZARDOUS MATERIAL HANDLING, SPECIALTY CLEANING, OR OTHER SITE CONDITIONS IDENTIFIED AS A RESULT OF THOSE INSPECTIONS PRIOR TO THE START OF SUBSEQUENT CONSTRUCTION ACTIVITIES.

FLOOR PLAN LEGEND

- NOT IN PROJECT SCOPE - MAINTAIN & PROTECT ALL EXISTING.
- EXISTING WALL - MAINTAIN & PROTECT.
- EXISTING WALL - DEMOLISH & REMOVE.
- EXISTING WINDOW - MAINTAIN & PROTECT.
- EXISTING WINDOW - DEMOLISH & REMOVE.
- EXISTING DOOR & FRAME - MAINTAIN & PROTECT.
- EXISTING DOOR & FRAME - REMOVE & SALVAGE FOR REUSE. SEE NEW WORK FLOOR PLANS FOR NEW LOCATIONS.
- EXISTING CONSTRUCTION - MAINTAIN & PROTECT.
- EXISTING CONSTRUCTION - DEMOLISH & REMOVE.
- EXISTING FIRE EXTINGUISHER CABINET - MAINTAIN & PROTECT.

DEMOLITION PLAN KEYED NOTES

- 1 EXISTING CASEWORK - DEMOLISH & REMOVE.
- 2 EXISTING STAIR TREAD, RISER, & NOSING FINISH - MAINTAIN & PROTECT.
- 3 EXISTING LUXURY VINYL TILE - MAINTAIN & PROTECT. REMOVE, CUT, AND REINSTALL PLANKS AS NECESSARY FOR NEW WALL. EXISTING WALL BASE - DEMOLISH & REMOVE. INSTALL NEW WALL BASE.
- 4 EXISTING FLOOR FINISHES & WALL BASE - DEMOLISH & REMOVE. PREPARE FOR NEW. SALVAGE FULL CARPET TILES FOR OWNER'S USE.
- 5 EXISTING SHELL SPACE - MAINTAIN & PROTECT EXISTING CONSTRUCTION. PREPARE EXISTING EXPOSED CONCRETE FLOOR FOR NEW FLOOR FINISHES.
- 6 EXISTING WINDOW SHADES - REMOVE & SALVAGE TO OWNER.
- 7 EXISTING PLUMBING FIXTURES - DEMOLISH & REMOVE.
- 8 EXISTING CONCRETE PAVING - DEMOLISH, REMOVE, & PREPARE FOR NEW REINFORCED CONCRETE & FOUNDATIONS FOR NEW COLUMNS.
- 9 EXISTING FIRE EXTINGUISHER CABINET - REMOVE & SALVAGE FOR REUSE. SEE NEW WORK FLOOR PLANS FOR NEW LOCATIONS.
- 10 EXISTING STOREFRONT & WALL - DEMOLISH & REMOVE EXISTING STOREFRONT WINDOWS & WALL BELOW. DEMOLISH & REMOVE WALL ABOVE UP TO 10'-0" A.F.F.
- 11 EXISTING CONCRETE FLOOR - SAWCUT CLEAN & DEMOLISH FOR PLUMBING WORK. SEE PLUMBING.
- 12 EXISTING RECEPTION DESK - REMOVE & SALVAGE BY OWNER.
- 13 EXISTING DECORATIVE LIGHT FIXTURE - DEMOLISH & REMOVE.
- 14 EXISTING FIBER CEMENT BOARD SIDING - DEMOLISH & REMOVE.
- 15 EXISTING CONCRETE FLOOR - SAWCUT CLEAN & DEMOLISH FOR ELECTRICAL WORK. SEE ELECTRICAL.
- 16 EXISTING CARD READERS - REMOVE & SALVAGE TO OWNER.
- 17 EXISTING PLASTIC LAMINATE COUNTERTOP - DEMOLISH & REMOVE. EXISTING CABINETS - MAINTAIN & PROTECT. PATCH & REPAIR WALL AS REQUIRED.



KEY PLAN

BID SET

SOLU
LANG

ARCHITECTS

1101 Old Marion Rd
NE
Cedar Rapids, Iowa
52402
t: 319.802.0384

All reports, plans, specifications, computer files, field data, notes, and other documents prepared by Solum Lang Architects, LLC as Instruments of service shall remain the property of Solum Lang Architects, LLC. Solum Lang Architects, LLC shall retain all common law, statutory and other reserved rights, including copyright thereto.

REVISION

DATE & TITLE

02.08.11.28 ADD. 02

1025 Kirkwood Pkwy SW
Cedar Rapids, IA 52404

Kirkwood East Hall - Remodel
Demolition Floor Plan - Level 2 - Area A

DATE

07.23.2026

DRAWING NUMBER

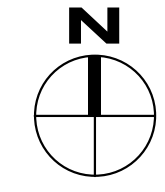
AD112A

PROJECT NUMBER

25030



1
AD112.B
DEMOLITION FLOOR PLAN - LEVEL 2 - Area B (Northwest)
1/8" = 1'-0"



FLOOR PLAN GENERAL NOTES

1. CONTRACTORS & MATERIAL SUPPLIERS SHALL FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS ASSOCIATED WITH THE WORK & REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY, PRIOR TO COMMENCING WORK.
2. REFERENCE ENGINEERING DRAWINGS FOR ALL DEMOLITION / PROTECTION OF EXISTING MECHANICAL, ELECTRICAL, & PLUMBING EQUIPMENT.
3. DEMOLISH & REMOVE OR REMOVE & SALVAGE EXISTING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, CASEWORK, WALL, & DOORS WHERE SHOWN BY DASHED LINES. DASHED LINES ARE REPRESENTATIONAL. PERFORM ALL DEMOLITION NECESSARY TO PROVIDE A COMPLETE PROJECT AS DESCRIBED BY ALL CONSTRUCTION DOCUMENTS.
4. EXISTING WINDOWS, SILLS, & SHADES - MAINTAIN & PROTECT THROUGHOUT UNLESS NOTED OTHERWISE.
5. EXISTING FINISHES - MAINTAIN & PROTECT ALL EXISTING FINISHES TO REMAIN UNLESS NOTED OTHERWISE. REPLACE & REPAIR ALL DAMAGE DUE TO CONSTRUCTION.
6. FURNITURE, FIXTURES, & EQUIPMENT - REMOVE & SALVAGE FOR OWNER USE.
7. THE CONTRACTOR WILL RETAIN ALL SALVAGE THAT IS OF VALUE AS DESIGNATED BY THE OWNER'S REPRESENTATIVE. THE OWNER WILL DIRECT THE CONTRACTOR AS TO THE LOCATION OF SALVAGE STORAGE AREA FOR VARIOUS ITEMS.
8. THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING DEBRIS & ITEMS NOT DETAINED BY THE OWNER'S REPRESENTATIVE FROM THE CONSTRUCTION SITE & THE BUILDING.
9. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING CODE REQUIRED EGRESS DURING CONSTRUCTION.
10. THE OWNER WILL PERFORM INSPECTIONS UPON COMPLETION OF THE DEMOLITION PHASE & WILL BE RESPONSIBLE FOR COORDINATING & MANAGING ANY REQUIRED ENVIRONMENTAL REMEDIATION, HAZARDOUS MATERIAL HANDLING, SPECIALTY CLEANING, OR OTHER SITE CONDITIONS IDENTIFIED AS A RESULT OF THOSE INSPECTIONS PRIOR TO THE START OF SUBSEQUENT CONSTRUCTION ACTIVITIES.

FLOOR PLAN LEGEND

- NOT IN PROJECT SCOPE - MAINTAIN & PROTECT ALL EXISTING.
- EXISTING WALL - MAINTAIN & PROTECT.
- EXISTING WALL - DEMOLISH & REMOVE.
- EXISTING WINDOW - MAINTAIN & PROTECT.
- EXISTING WINDOW - DEMOLISH & REMOVE.
- EXISTING DOOR & FRAME - MAINTAIN & PROTECT.
- EXISTING DOOR & FRAME - REMOVE & SALVAGE FOR REUSE. SEE NEW WORK FLOOR PLANS FOR NEW LOCATIONS.
- EXISTING CONSTRUCTION - MAINTAIN & PROTECT.
- EXISTING CONSTRUCTION - DEMOLISH & REMOVE.
- EXISTING FIRE EXTINGUISHER CABINET - MAINTAIN & PROTECT.

DEMOLITION PLAN KEYED NOTES

- 1 EXISTING CASEWORK - DEMOLISH & REMOVE.
- 2 EXISTING STAIR TREAD, RISER, & NOSING FINISH - MAINTAIN & PROTECT.
- 3 EXISTING LUXURY VINYL TILE - MAINTAIN & PROTECT. REMOVE, CUT, AND REINSTALL PLANKS AS NECESSARY FOR NEW WALL. EXISTING WALL BASE - DEMOLISH & REMOVE. INSTALL NEW WALL BASE.
- 4 EXISTING FLOOR FINISHES & WALL BASE - DEMOLISH & REMOVE. PREPARE FOR NEW. SALVAGE FULL CARPET TILES FOR OWNER'S USE.
- 5 EXISTING SHELL SPACE - MAINTAIN & PROTECT EXISTING CONSTRUCTION. PREPARE EXISTING EXPOSED CONCRETE FLOOR FOR NEW FLOOR FINISHES.
- 6 EXISTING WINDOW SHADES - REMOVE & SALVAGE TO OWNER.
- 7 EXISTING PLUMBING FIXTURES - DEMOLISH & REMOVE.
- 8 EXISTING CONCRETE PAVING - DEMOLISH, REMOVE, & PREPARE FOR NEW REINFORCED CONCRETE & FOUNDATIONS FOR NEW COLUMNS.
- 9 EXISTING FIRE EXTINGUISHER CABINET - REMOVE & SALVAGE FOR REUSE. SEE NEW WORK FLOOR PLANS FOR NEW LOCATIONS.
- 10 EXISTING STOREFRONT & WALL - DEMOLISH & REMOVE EXISTING STOREFRONT WINDOWS & WALL BELOW. DEMOLISH & REMOVE WALL ABOVE UP TO 10'-0" A.F.F.
- 11 EXISTING CONCRETE FLOOR - SAWCUT CLEAN & DEMOLISH FOR PLUMBING WORK. SEE PLUMBING.
- 12 EXISTING RECEPTION DESK - REMOVE & SALVAGE BY OWNER.
- 13 EXISTING DECORATIVE LIGHT FIXTURE - DEMOLISH & REMOVE.
- 14 EXISTING FIBER CEMENT BOARD SIDING - DEMOLISH & REMOVE.
- 15 EXISTING CONCRETE FLOOR - SAWCUT CLEAN & DEMOLISH FOR ELECTRICAL WORK. SEE ELECTRICAL.
- 16 EXISTING CARD READERS - REMOVE & SALVAGE TO OWNER.
- 17 EXISTING PLASTIC LAMINATE COUNTERTOP - DEMOLISH & REMOVE. EXISTING CABINETS - MAINTAIN & PROTECT. PATCH & REPAIR WALL AS REQUIRED.

KEY PLAN

BID SET

A

B

SOLUM LANG
ARCHITECTS
1101 Old Marion Rd
NE
Cedar Rapids, Iowa
52402
t: 319.802.0384

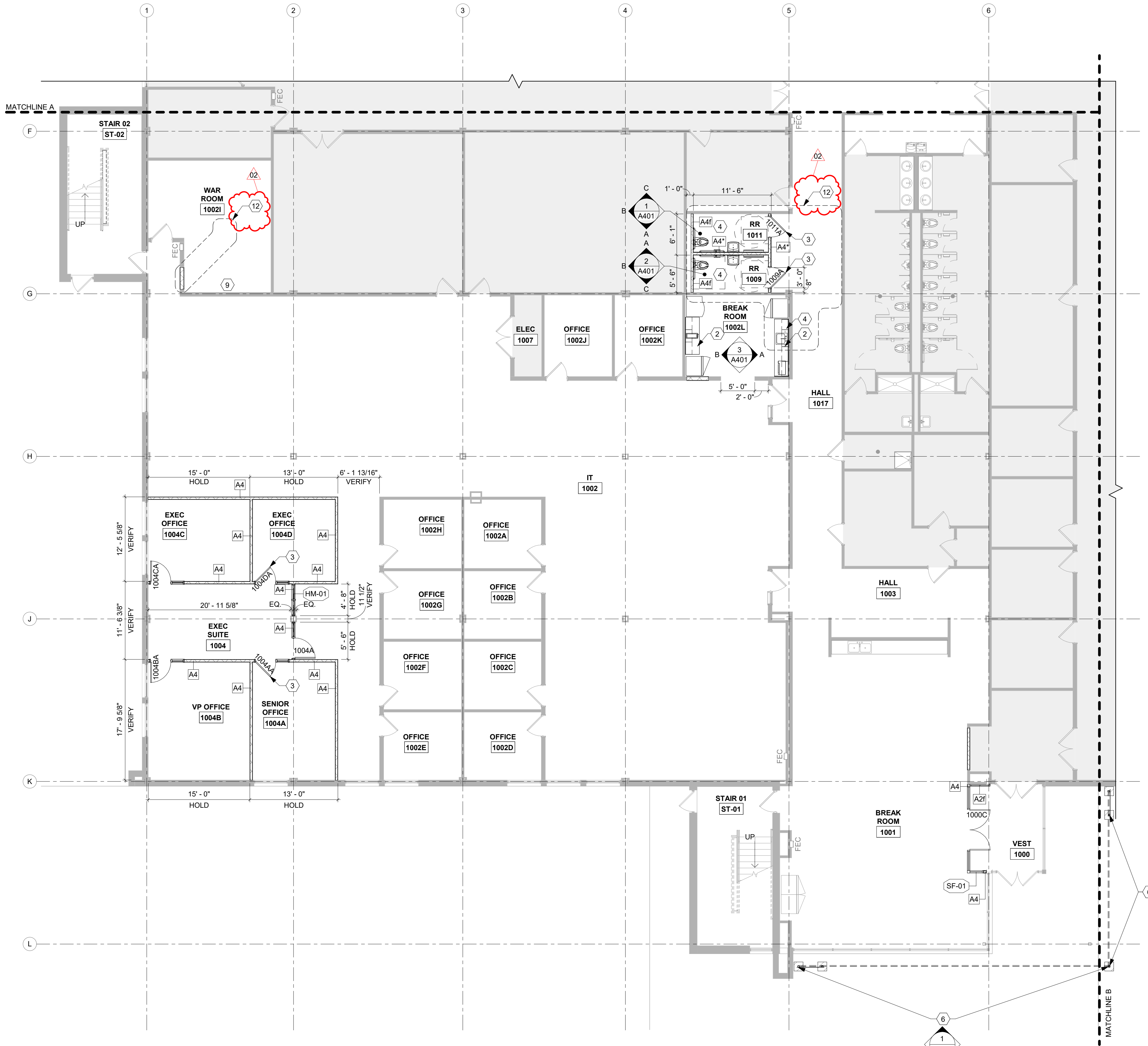
All reports, plans, specifications, computer files, field data, notes, and other documents prepared by Solum Lang Architects, LLC as instruments of service shall remain the property of Solum Lang Architects, LLC. Solum Lang Architects, LLC shall retain all common law, statutory and other reserved rights, including copyright thereto.

REVISION
DATE & TITLE
02.08.11.28 ADD. 02

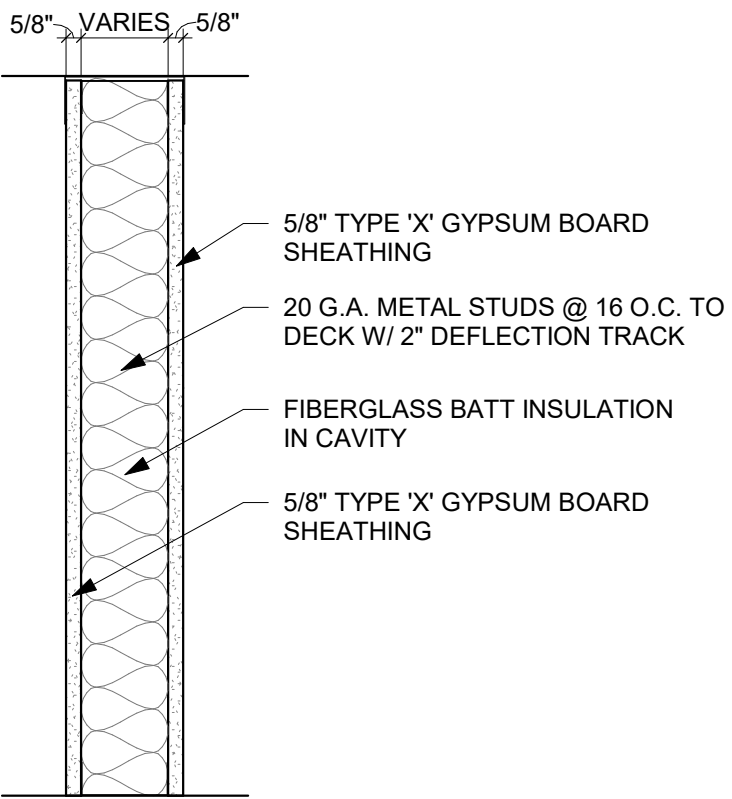
1025 Kirkwood Pkwy SW
Cedar Rapids, IA 52404

Kirkwood East Hall - Remodel
Demolition Floor Plan - Level 2 - Area B

DATE
07.23.2026
DRAWING NUMBER
AD112.B
PROJECT NUMBER
25030



WALL TYPE KEY	
METAL STUD SIZE	
2	1 5/8"
3	2 1/2"
4	3 5/8"
6	6"
8	8"
10	10"
ASSEMBLY SYMBOLS	
*	RESILIENT CHANNEL - ON TAG SIDE
f	FURRING WALL (GYP. BOARD ON TAG SIDE ONLY)



GENERAL NOTES

- CONTRACTORS & MATERIAL SUPPLIERS SHALL FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS ASSOCIATED WITH THE WORK & REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY, PRIOR TO COMMENCING WORK.
- REFERENCE ENGINEERING DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, & PLUMBING WORK.
- DIMENSIONS TAKEN FROM FINISH FACE OF WALL & EXTERIOR FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
- WINDOWS, SILLS, & SHADES - MAINTAIN & PROTECT EXISTING THROUGHOUT UNLESS NOTED OTHERWISE.
- FINISHES - MAINTAIN & PROTECT ALL EXISTING FINISHES TO REMAIN UNLESS NOTED OTHERWISE. REPLACE & REPAIR ALL DAMAGE DUE TO CONSTRUCTION.
- CAULK & SEAL ALL EXISTING OPENINGS & WINDOW SILLS.
- ALL NEW WALL CONSTRUCTION UP TO STRUCTURE.
- PATCH / REPAIR & SKIM COAT EXISTING WALLS AS NECESSARY TO ACHIEVE SMOOTH, EVEN SURFACE.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING CODE REQUIRED EGRESS DURING CONSTRUCTION.
- PATCH, BLEND, & REPAIR AT LOCATIONS OF EXISTING WALLS DEMOLISHED AND EXPOSED. PREP FOR FINISH.

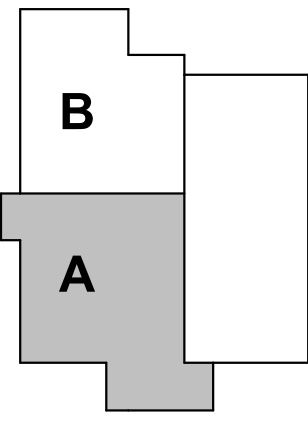
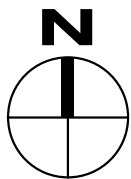
FLOOR PLAN LEGEND

- NOT IN PROJECT SCOPE - MAINTAIN & PROTECT ALL EXISTING.
- NEW WALL - SEE 'CODE REVIEW & WALL TYPES' SHEET.
- EXISTING WALL - MAINTAIN & PROTECT.
- NEW WINDOW.
- EXISTING WINDOW - MAINTAIN & PROTECT.
- NEW DOOR & FRAME - SEE DOOR SCHEDULE.
- EXISTING DOOR & FRAME - MAINTAIN & PROTECT.
- NEW CONSTRUCTION.
- EXISTING CONSTRUCTION - MAINTAIN & PROTECT.
- EXISTING FIRE EXTINGUISHER CABINET - MAINTAIN & PROTECT.
- NEW FIRE EXTINGUISHER CABINET.

FLOOR PLAN KEYED NOTES

- HANGING PANEL SPACE DIVIDERS. SEE INTERIOR ELEVATIONS & FINISH PLANS.
- NEW CASEWORK. SEE INTERIOR ELEVATIONS.
- EXISTING DOOR & FRAME - REINSTALL SALVAGED.
- NEW PLUMBING FIXTURES. SEE PLUMBING DRAWINGS.
- EXISTING FIRE EXTINGUISHER CABINET - REINSTALL SALVAGED.
- NEW EXTERIOR SIGN STRUCTURE. SEE STRUCTURAL.
- NEW TRANSACTION TOP. SEE INTERIOR ELEVATIONS.
- NEW MOTOR OPERATED ROLLER SHADES. SEE WINDOW ELEVATIONS FOR EXISTING WINDOW DIMENSIONS.
- NEW TV BY OWNER. SEE ELECTRICAL & TECHNOLOGY PLANS.
- NEW CEILING MOUNTED PROJECTOR SCREEN BY OWNER. SEE ELECTRICAL & TECHNOLOGY PLANS FOR PROJECTOR LOCATIONS.
- PATCH / REPAIR & SKIM COAT DEMOLISHED OPENING AS NECESSARY TO ACHIEVE SMOOTH, EVEN SURFACE.
- PATCH / INFILL CONCRETE AS REQUIRED PER MECHANICAL, ELECTRICAL, & / OR PLUMBING DEMOLITION WORK & INSTALLATION. SEE MEP DRAWINGS.
- NEW COUNTERTOP ON EXISTING CASEWORK - SEE INTERIOR ELEVATIONS.

1 NEW WORK FLOOR PLAN - LEVEL 1 - Area A (Southwest)
1/8" = 1'-0"



KEY PLAN

BID SET

SOLU
LANG

ARCHITECTS

1101 Old Marion Rd
NE
Cedar Rapids, Iowa
52402
t: 319.802.0384

All reports, plans, specifications, computer files, field data, notes, and other documents and instruments prepared by Solum Lang Architects, LLC as instruments of service shall remain the property of Solum Lang Architects, LLC. Solum Lang Architects, LLC shall retain all common law, statutory and other reserved rights, including copyright thereto.

REVISION
ISSUE
DATE & TITLE

02, 08.11.28 ADD. 02

1025 Kirkwood Pkwy SW
Cedar Rapids, IA 52404

Kirkwood East Hall - Remodel
New Floor Plan - Level 1 - Area A

DATE

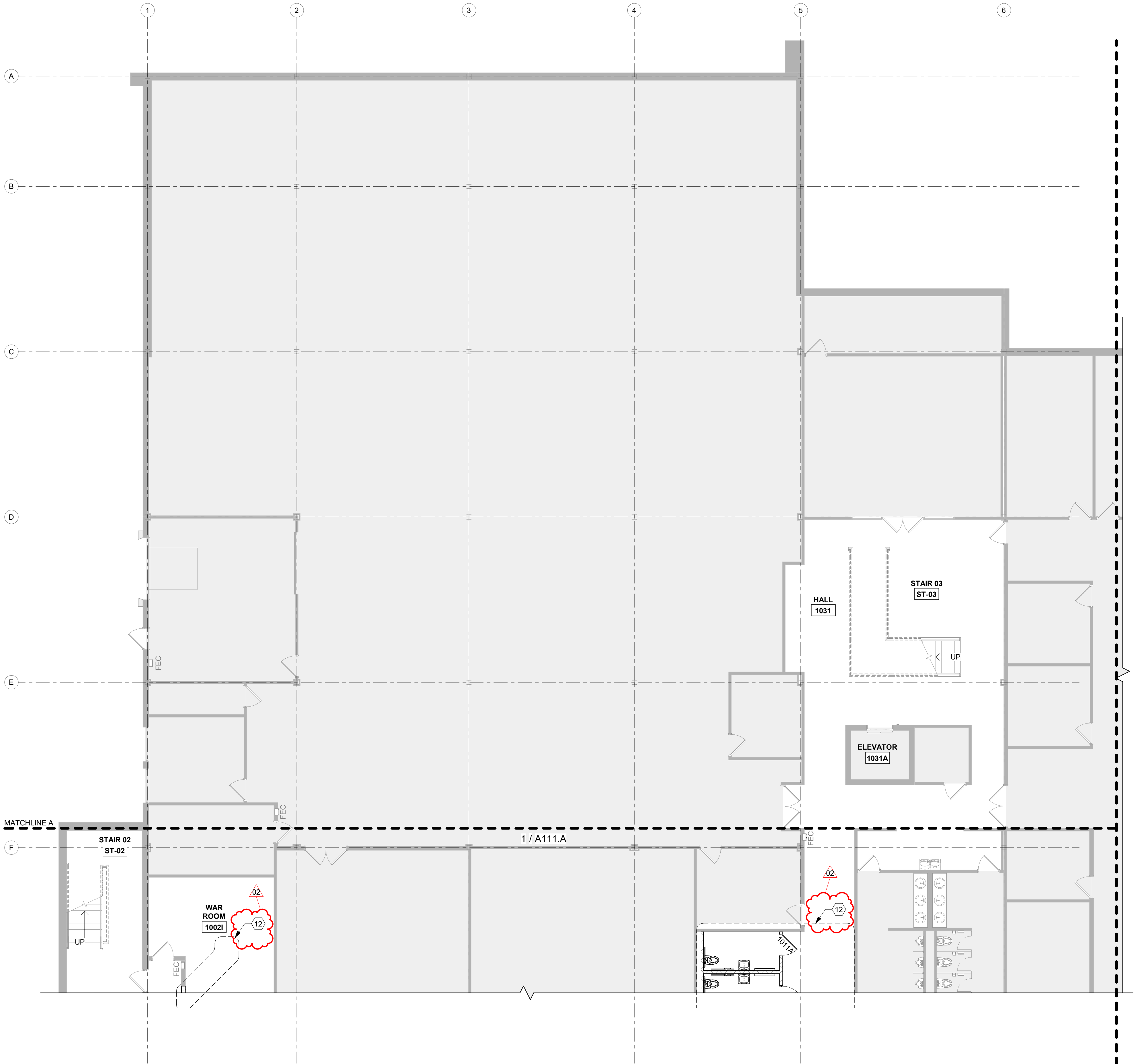
07.23.2026

DRAWING NUMBER

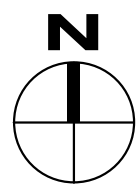
A111.A

PROJECT NUMBER

25030



1 NEW WORK FLOOR PLAN - LEVEL 1 - Area B (Northwest)
A111.B 1/8" = 1'-0"



GENERAL NOTES

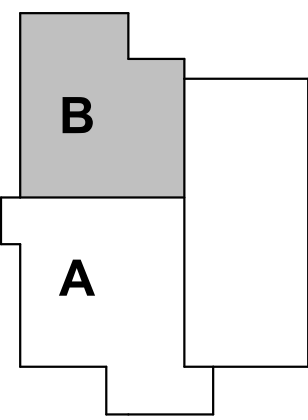
1. CONTRACTORS & MATERIAL SUPPLIERS SHALL FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS ASSOCIATED WITH THE WORK & REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY, PRIOR TO COMMENCING WORK.
2. REFERENCE ENGINEERING DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, & PLUMBING WORK.
3. DIMENSIONS TAKEN FROM FINISH FACE OF WALL & EXTERIOR FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
4. WINDOWS, SILLS, & SHADES - MAINTAIN & PROTECT EXISTING THROUGHOUT UNLESS NOTED OTHERWISE.
5. FINISHES - MAINTAIN & PROTECT ALL EXISTING FINISHES TO REMAIN UNLESS NOTED OTHERWISE. REPLACE & REPAIR ALL DAMAGE DUE TO CONSTRUCTION.
6. CAULK & SEAL ALL EXISTING OPENINGS & WINDOW SILLS.
7. ALL NEW WALL CONSTRUCTION UP TO STRUCTURE.
8. PATCH / REPAIR & SKIM COAT EXISTING WALLS AS NECESSARY TO ACHIEVE SMOOTH, EVEN SURFACE.
9. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING CODE REQUIRED EGRESS DURING CONSTRUCTION.
10. PATCH, BLEND, & REPAIR AT LOCATIONS OF EXISTING WALLS DEMOLISHED AND EXPOSED. PREP FOR FINISH.

FLOOR PLAN LEGEND

- NOT IN PROJECT SCOPE - MAINTAIN & PROTECT ALL EXISTING.
- NEW WALL - SEE 'CODE REVIEW & WALL TYPES' SHEET.
- EXISTING WALL - MAINTAIN & PROTECT.
- NEW WINDOW.
- EXISTING WINDOW - MAINTAIN & PROTECT.
- NEW DOOR & FRAME - SEE DOOR SCHEDULE.
- EXISTING DOOR & FRAME - MAINTAIN & PROTECT.
- NEW CONSTRUCTION.
- EXISTING CONSTRUCTION - MAINTAIN & PROTECT.
- EXISTING FIRE EXTINGUISHER CABINET - MAINTAIN & PROTECT.
- NEW FIRE EXTINGUISHER CABINET.

FLOOR PLAN KEYED NOTES

1. HANGING PANEL SPACE DIVIDERS. SEE INTERIOR ELEVATIONS & FINISH PLANS.
2. NEW CASEWORK. SEE INTERIOR ELEVATIONS.
3. EXISTING DOOR & FRAME - REINSTALL SALVAGED.
4. NEW PLUMBING FIXTURES. SEE PLUMBING DRAWINGS.
5. EXISTING FIRE EXTINGUISHER CABINET - REINSTALL SALVAGED.
6. NEW EXTERIOR SIGN STRUCTURE. SEE STRUCTURAL.
7. NEW TRANSACTION TOP. SEE INTERIOR ELEVATIONS.
8. NEW MOTOR OPERATED ROLLER SHADES. SEE WINDOW ELEVATIONS FOR EXISTING WINDOW DIMENSIONS.
9. NEW TV BY OWNER. SEE ELECTRICAL & TECHNOLOGY PLANS.
10. NEW CEILING MOUNTED PROJECTOR SCREEN BY OWNER. SEE ELECTRICAL & TECHNOLOGY PLANS FOR PROJECTOR LOCATIONS.
11. PATCH / REPAIR & SKIM COAT DEMOLISHED OPENING AS NECESSARY TO ACHIEVE SMOOTH, EVEN SURFACE.
12. PATCH / INFILL CONCRETE AS REQUIRED PER MECHANICAL, ELECTRICAL, & / OR PLUMBING DEMOLITION WORK & INSTALLATION. SEE MEP DRAWINGS.
13. NEW COUNTERTOP ON EXISTING CASEWORK - SEE INTERIOR ELEVATIONS.



KEY PLAN

BID SET

SOLUM
LANG

ARCHITECTS

1101 Old Marion Rd
NE
Cedar Rapids, Iowa
52402
t: 319.862.0384

All reports, plans, specifications, computer files, field data, notes, and other documents and instruments prepared by Solum Lang Architects, LLC as Instruments of service shall remain the property of Solum Lang Architects, LLC. Solum Lang Architects, LLC shall retain all common law, statutory and other reserved rights, including copyright thereto.

REVISION
ISSUE
DATE & TITLE

01 08.04.28 ADD. 01

02 08.11.28 ADD. 02

1025 Kirkwood Pkwy SW
Cedar Rapids, IA 52404

Kirkwood East Hall - Remodel
New Floor Plan - Level 1 - Area B

DATE

07.23.2026

DRAWING NUMBER

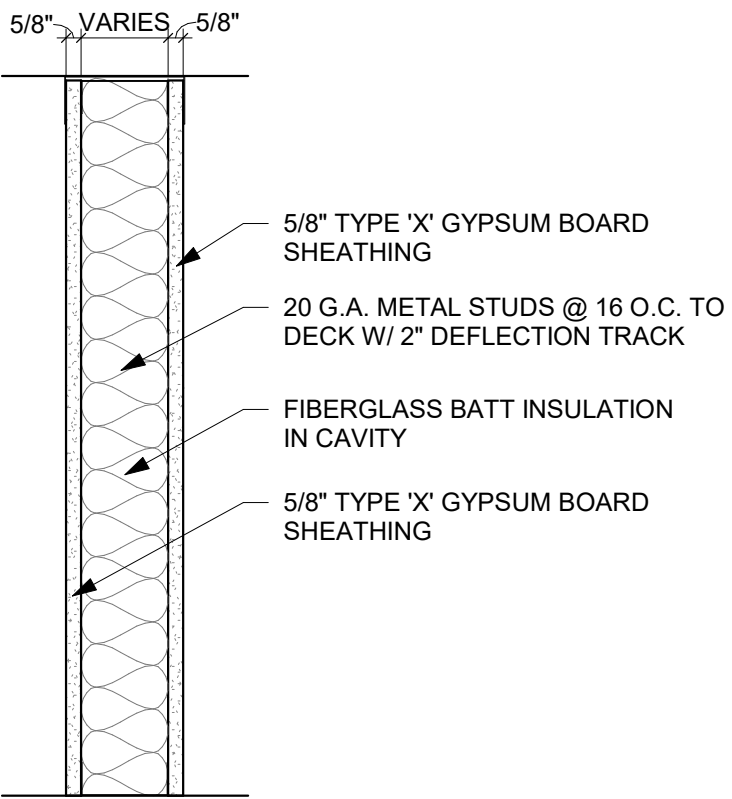
A111.B

PROJECT NUMBER

25030



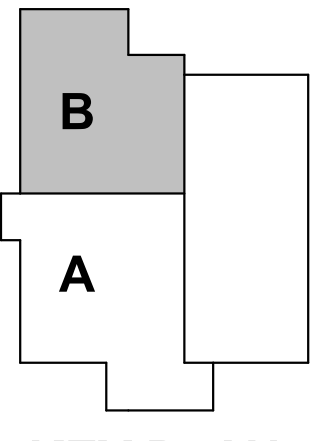
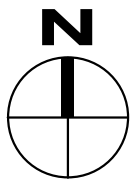
WALL TYPE KEY	
METAL STUD SIZE	
2	1 5/8"
3	2 1/2"
4	3 5/8"
6	6"
8	8"
10	10"
ASSEMBLY SYMBOLS	
*	RESILIENT CHANNEL - ON TAG SIDE
f	FURRING WALL (GYP. BOARD ON TAG SIDE ONLY)



- GENERAL NOTES**
- CONTRACTORS & MATERIAL SUPPLIERS SHALL FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS ASSOCIATED WITH THE WORK & REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY, PRIOR TO COMMENCING WORK.
 - REFERENCE ENGINEERING DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, & PLUMBING WORK.
 - DIMENSIONS TAKEN FROM FINISH FACE OF WALL & EXTERIOR FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
 - WINDOWS, SILLS, & SHADES - MAINTAIN & PROTECT EXISTING THROUGHOUT UNLESS NOTED OTHERWISE.
 - FINISHES - MAINTAIN & PROTECT ALL EXISTING FINISHES TO REMAIN UNLESS NOTED OTHERWISE. REPLACE & REPAIR ALL DAMAGE DUE TO CONSTRUCTION.
 - CAULK & SEAL ALL EXISTING OPENINGS & WINDOW SILLS.
 - ALL NEW WALL CONSTRUCTION UP TO STRUCTURE.
 - PATCH / REPAIR & SKIM COAT EXISTING WALLS AS NECESSARY TO ACHIEVE SMOOTH, EVEN SURFACE.
 - THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING CODE REQUIRED EGRESS DURING CONSTRUCTION.
 - PATCH, BLEND, & REPAIR AT LOCATIONS OF EXISTING WALLS DEMOLISHED AND EXPOSED. PREP FOR FINISH.

- FLOOR PLAN LEGEND**
- NOT IN PROJECT SCOPE - MAINTAIN & PROTECT ALL EXISTING.
 - NEW WALL - SEE 'CODE REVIEW & WALL TYPES' SHEET.
 - EXISTING WALL - MAINTAIN & PROTECT.
 - NEW WINDOW.
 - EXISTING WINDOW - MAINTAIN & PROTECT.
 - NEW DOOR & FRAME - SEE DOOR SCHEDULE.
 - EXISTING DOOR & FRAME - MAINTAIN & PROTECT.
 - NEW CONSTRUCTION.
 - EXISTING CONSTRUCTION - MAINTAIN & PROTECT.
 - EXISTING FIRE EXTINGUISHER CABINET - MAINTAIN & PROTECT.
 - NEW FIRE EXTINGUISHER CABINET.

- FLOOR PLAN KEYED NOTES**
- HANGING PANEL SPACE DIVIDERS. SEE INTERIOR ELEVATIONS & FINISH PLANS.
 - NEW CASEWORK. SEE INTERIOR ELEVATIONS.
 - EXISTING DOOR & FRAME - REINSTALL SALVAGED.
 - NEW PLUMBING FIXTURES. SEE PLUMBING DRAWINGS.
 - EXISTING FIRE EXTINGUISHER CABINET - REINSTALL SALVAGED.
 - NEW EXTERIOR SIGN STRUCTURE. SEE STRUCTURAL.
 - NEW TRANSACTION TOP. SEE INTERIOR ELEVATIONS.
 - NEW MOTOR OPERATED ROLLER SHADES. SEE WINDOW ELEVATIONS FOR EXISTING WINDOW DIMENSIONS.
 - NEW TV BY OWNER. SEE ELECTRICAL & TECHNOLOGY PLANS.
 - NEW CEILING MOUNTED PROJECTOR SCREEN BY OWNER. SEE ELECTRICAL & TECHNOLOGY PLANS FOR PROJECTOR LOCATIONS.
 - PATCH / REPAIR & SKIM COAT DEMOLISHED OPENING AS NECESSARY TO ACHIEVE SMOOTH, EVEN SURFACE.
 - PATCH / INFILL CONCRETE AS REQUIRED PER MECHANICAL, ELECTRICAL, & / OR PLUMBING DEMOLITION WORK & INSTALLATION. SEE MEP DRAWINGS.
 - NEW COUNTERTOP ON EXISTING CASEWORK - SEE INTERIOR ELEVATIONS.



KEY PLAN

BID SET

Kirkwood East Hall - Remodel

New Floor Plan - Level 2 - Area B

SOLUM LANG

ARCHITECTS

1101 Old Marion Rd
NE
Cedar Rapids, Iowa
52402
t: 319.802.0384

All reports, plans, specifications, computer files, field data, notes, and other documents and instruments prepared by Solum Lang Architects, LLC as instruments of service shall remain the property of Solum Lang Architects, LLC. Solum Lang Architects, LLC shall retain all common law, statutory and other reserved rights, including copyright thereto.

REVISION:
ISSUE
DATE & TITLE

02, 08.11.28 ADD, 02

1025 Kirkwood Pkwy SW
Cedar Rapids, IA 52404

DATE

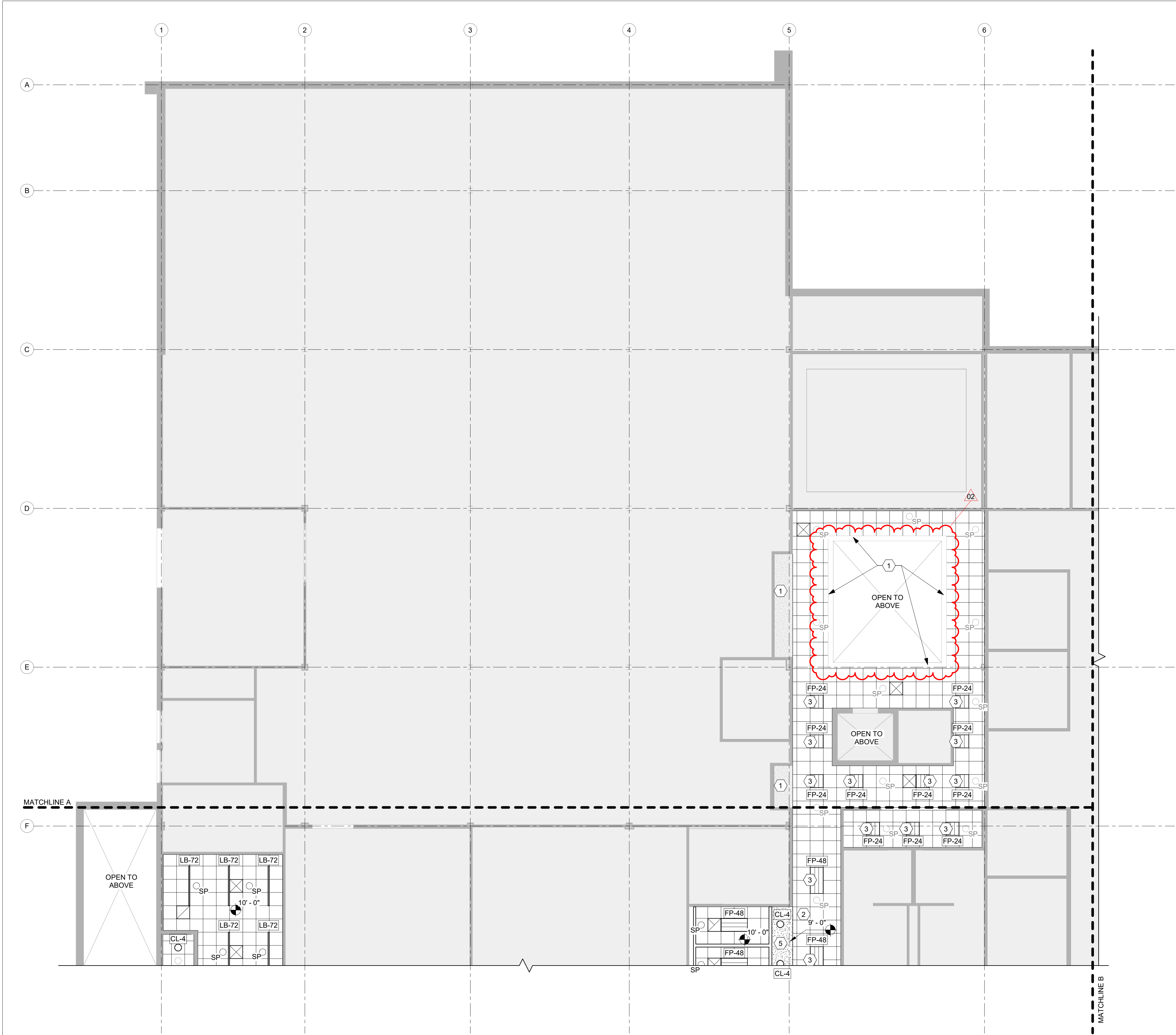
07.23.2026

DRAWING NUMBER

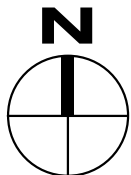
A112.B

PROJECT NUMBER

25030



1 NEW WORK REFLECTED CEILING PLAN - LEVEL 1 - Area B (Northwest)
A121.B 1/8" = 1'-0"



GENERAL NOTES

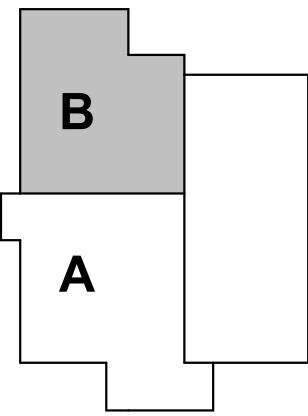
- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS & DIMENSIONS; DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING WORK.
- DIMENSIONS TAKEN FROM FINISH FACE OF WALL & EXTERIOR FACE OF STRUCTURAL MEMBERS UNLESS NOTED OTHERWISE.
- LIGHTING / MECHANICAL SHOWN FOR DESIGN INTENT ONLY. REFER TO INDIVIDUAL DISCIPLINE DRAWINGS FOR LAYOUTS AND SPECIFICATION INFORMATION.
- CENTER ALL LIGHTS, SMOKE DETECTORS, SPRINKLER HEADS, ETC. IN CEILING TILES.
- MAINTAIN & PROTECT EXISTING SPRINKLER HEADS THROUGHOUT.
- NEW CEILING GRID THROUGHOUT TO BE LOCATED IN SAME LOCATION AS EXISTING. ALIGN EXISTING SPRINKLER HEADS TO CENTER OF CEILING TILES.

REFLECTED CEILING PLAN LEGEND

- NOT IN PROJECT SCOPE - MAINTAIN & PROTECT ALL EXISTING.
- EXISTING CONSTRUCTION - MAINTAIN & PROTECT.
- NEW CONSTRUCTION.
- FP-24 NEW 2x2 LED LIGHT FIXTURE (UNLESS NOTED AS SALVAGED). SEE ELECTRICAL.
- FP-48 NEW 2x4 LED LIGHT FIXTURE (UNLESS NOTED AS SALVAGED). SEE ELECTRICAL.
- LB-48 NEW LED LINEAR LIGHT FIXTURE. SEE ELECTRICAL.
- LB-72
- LB-96
- EXISTING CAN LIGHT FIXTURE. SEE ELECTRICAL.
- LB-96 NEW CAN LIGHT FIXTURE. SEE ELECTRICAL.
- LS-48 NEW UTILITY LIGHT. SEE ELECTRICAL.
- PD-24 NEW PENDANT LIGHT FIXTURE BASIS OF DESIGN: PRODUCT: EUREKA QUADRANT 4232-23. FINISH: TBD
- PRO-48 NEW CIRCULAR PENDANT NON ACOUSTIC BASIS OF DESIGN: PRODUCT: EUREKA ATOLL ROUND 4850D. SIZE: 60. FINISH: TBD
- PRO-60 NEW CIRCULAR PENDANT NON ACOUSTIC BASIS OF DESIGN: PRODUCT: EUREKA ATOLL ROUND 4850D. SIZE: 60. FINISH: TBD
- PRF-48 NEW CIRCULAR PENDANT ACOUSTIC BASIS OF DESIGN: PRODUCT: EUREKA ATOLL ROUND 4851D. SIZE: 48. FINISH: TBD
- NEW RETURN. SEE MECHANICAL.
- NEW SUPPLY. SEE MECHANICAL.
- NEW EXHAUST FAN. SEE MECHANICAL.
- EXISTING RADIANT PANEL - REINSTALL SALVAGED. SEE MECHANICAL.
- EXISTING SPRINKLER HEAD - MAINTAIN & PROTECT UNLESS NOTED OTHERWISE. SEE MECHANICAL.
- NEW SPRINKLER HEAD. SEE MECHANICAL.

REFLECTED CEILING PLAN KEYED NOTES

- EXISTING GYPSUM BOARD SOFFIT - MAINTAIN & PROTECT. PAINT.
- EXISTING WALL, NEW BULKHEAD - FINISH SMOOTH & REPAIR FOR PAINT.
- EXISTING LIGHT FIXTURE - REINSTALL SALVAGED IN SAME LOCATION.
- OPEN TO STRUCTURE. PAINT.
- NEW GYPSUM BOARD SOFFIT. PAINT.
- NEW GYPSUM BOARD BULKHEAD. PAINT.
- EXISTING CEILING - MAINTAIN & PROTECT.
- EXISTING CEILING - PATCH / REPAIR & SKIM COAT DEMOLISHED OPENING AS NECESSARY TO ACHIEVE SMOOTH, EVEN SURFACE.



KEY PLAN

BID SET

SOLUM LANG

ARCHITECTS

1101 Old Marion Rd
NE
Cedar Rapids, Iowa
52402
t: 319.862.0384

All reports, plans, specifications, computer files, field data, notes, and other documents and instruments prepared by Solum Lang Architects, LLC as instruments of service shall remain the property of Solum Lang Architects, LLC. Solum Lang Architects, LLC shall retain all common law, statutory and other reserved rights, including copyright thereto.

REVISION
ISSUE
DATE & TITLE

02 08.11.28 ADD. 02

1025 Kirkwood Pkwy SW
Cedar Rapids, IA 52404

Kirkwood East Hall - Remodel
New Reflected Ceiling Plan - Level 1 - Area B

DATE

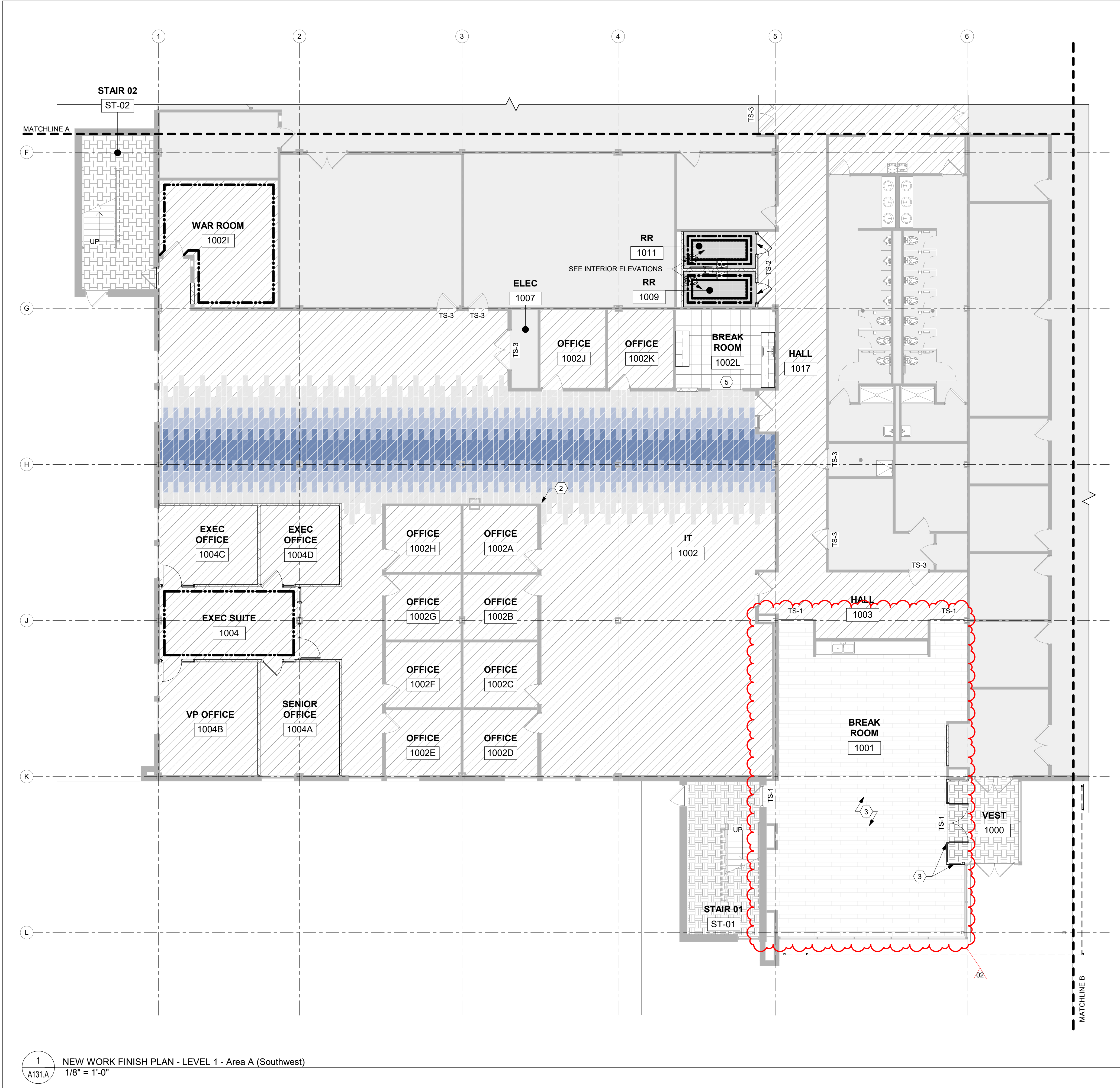
07.23.2026

DRAWING NUMBER

A121.B

PROJECT NUMBER

25030



GENERAL NOTES

- 1. IN THE EVENT OF A DISCREPANCY WITH ARCHITECTURAL / CONSULTANT DRAWINGS, NOTIFY ARCHITECT IMMEDIATELY, PRIOR TO COMMENCING WORK.
- 2. CONTRACTORS & MATERIAL SUPPLIERS SHALL FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS ASSOCIATED WITH THE WORK & REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- 3. WHERE EXISTING FLOORING HAS BEEN DEMOLISHED, PROVIDE FLOOR LEVELER TO MAINTAIN SMOOTH EVEN SURFACE ACCEPTABLE FOR NEW FLOORING.
- 4. ALL FLOOR TRANSITIONS TO BE CENTERED UNDER THE DOOR LEAF.
- 5. PROVIDE FLOOR LEVELER AS NEEDED BETWEEN DIS-SIMILAR FLOOR FINISHES.
- 6. RESILIENT BASE TO BE INSTALLED IN ALL ROOMS WITHIN PROJECT SCOPE UNLESS NOTED OTHERWISE.
- 7. INSTALL ALL FINISHES PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 8. INSTALL ALL FLOOR FINISHES USING MANUFACTURER'S RECOMMENDED ADHESIVE.
- 9. SEE FINISH SCHEDULE FOR EXACT FINISH SELECTIONS.
- 10. INSTALL CORNER GUARDS (CG-1) AT ALL OUTSIDE CORNERS IN PROJECT SCOPE.
- 11. PAINT ALL EXISTING HOLLOW METAL FRAMES & DOORS IN PROJECT SCOPE (PT-3).

LEGEND

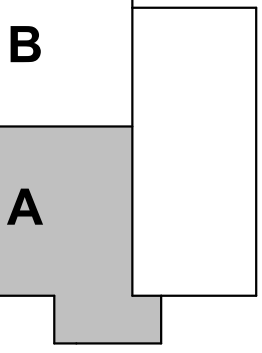
- ACCENT PAINT
- EPOXY PAINT (EPT-1)
- WALL PORCELAIN CERAMIC TILE (PCT-2)
- SOLID SURFACE CHAIR RAIL (SS-1)
- TRANSITIONS STRIP (TS-#) - SEE ROOM FINISH LEGEND
- FLOORING INSTALL DIRECTION
- NOT IN PROJECT SCOPE - MAINTAIN & PROTECT ALL EXISTING.
- NEW CONSTRUCTION.
- EXISTING CONSTRUCTION - MAINTAIN & PROTECT.
- CARPET (CPT-1)
- CARPET (CPT-2)
- CARPET (CPT-3)
- CARPET (CPT-4)
- WALK-OFF-MAT (WOM-1)
- LUXURY VINYL TILE (LVT-1)
- PORCELAIN CERAMIC TILE (PCT-1)
- EXISTING LUXURY VINYL PLANK (MAINTAIN & PROTECT)

KEYED NOTES

- 1 NEW GLASS MARKER BOARD PANELS (GMB-1). MANUFACTURER: DEKO PRODUCT: DIAMOND, MAGNETIC SIZE 4' X 8' COLOR: TBD
- 2 ACCENT CARPET STARTING POINT
- 3 EXISTING LUXURY VINYL TILE - MAINTAIN & PROTECT. REMOVE, CUT, AND REINSTALL PLANKS AS NECESSARY FOR NEW WALL. EXISTING WALL BASE - DEMOLISH & REMOVE. INSTALL NEW WALL BASE.
- 4 NEW CASEWORK. SEE INTERIOR ELEVATIONS.
- 5 FEATHER FINISH FLOOR AT FINISH TRANSITION TO ACHIEVE A FLUSH & LEVEL SURFACE.
- 6 EXISTING STAIRS - MAINTAIN & PROTECT EXISTING CERAMIC TILE TREADS. PAINT RISERS, GUARDRAILS, & STRINGERS.

PRINT IN COLOR

KEY PLAN



BID SET

SOLUM LANG

ARCHITECTS

1101 Old Marion Rd
NE
Cedar Rapids, Iowa
52402
t: 319.802.0384

All reports, plans, specifications, computer files, field data, notes, and other documents and instruments prepared by Solum Lang Architects, LLC as instruments of service shall remain the property of Solum Lang Architects, LLC. Solum Lang Architects, LLC shall retain all common law, statutory and other reserved rights, including copyright thereto.

REVISION
ISSUE
DATE & TITLE

02 08.11.28 ADD 02

1025 Kirkwood Pkwy SW
Cedar Rapids, IA 52404

Kirkwood East Hall - Remodel
New Finish Plan - Level 1 - Area A

DATE

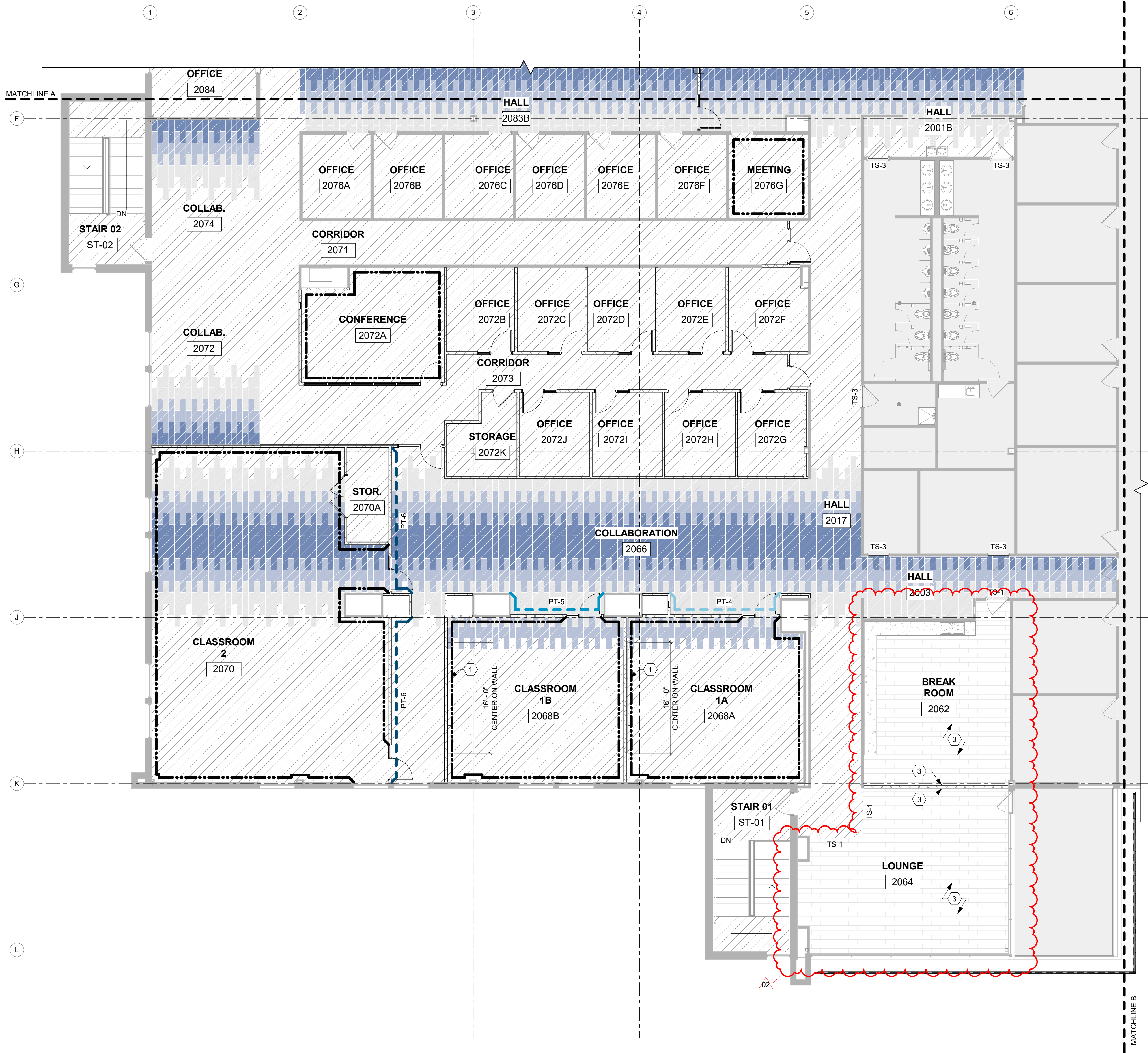
07.23.2026

DRAWING NUMBER

A131A

PROJECT NUMBER

25030



1 NEW WORK FINISH PLAN - LEVEL 2 - Area A (Southwest)
A132.A 1/8" = 1'-0"



GENERAL NOTES

- IN THE EVENT OF A DISCREPANCY WITH ARCHITECTURAL / CONSULTANT DRAWINGS, NOTIFY ARCHITECT IMMEDIATELY, PRIOR TO COMMENCING WORK.
- CONTRACTORS & MATERIAL SUPPLIERS SHALL FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS ASSOCIATED WITH THE WORK & REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- WHERE EXISTING FLOORING HAS BEEN DEMOLISHED, PROVIDE FLOOR LEVELER TO MAINTAIN SMOOTH EVEN SURFACE ACCEPTABLE FOR NEW FLOORING.
- ALL FLOOR TRANSITIONS TO BE CENTERED UNDER THE DOOR LEAF.
- PROVIDE FLOOR LEVELER AS NEEDED BETWEEN DIS-SIMILAR FLOOR FINISHES.
- RESILIENT BASE TO BE INSTALLED IN ALL ROOMS WITHIN PROJECT SCOPE UNLESS NOTED OTHERWISE.
- INSTALL ALL FINISHES PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- INSTALL ALL FLOOR FINISHES USING MANUFACTURER'S RECOMMENDED ADHESIVE.
- SEE FINISH SCHEDULE FOR EXACT FINISH SELECTIONS.
- INSTALL CORNER GUARDS (CG-1) AT ALL OUTSIDE CORNERS IN PROJECT SCOPE.
- PAINT ALL EXISTING HOLLOW METAL FRAMES & DOORS IN PROJECT SCOPE (PT-3).

LEGEND

- ACCENT PAINT
- EPOXY PAINT (EPT-1)
- WALL PORCELAIN CERAMIC TILE (PCT-2)
- SOLID SURFACE CHAIR RAIL (SS-1)
- TRANSITIONS STRIP (TS-#) - SEE ROOM FINISH LEGEND
- FLOORING INSTALL DIRECTION
- NOT IN PROJECT SCOPE - MAINTAIN & PROTECT ALL EXISTING.
- NEW CONSTRUCTION.
- EXISTING CONSTRUCTION - MAINTAIN & PROTECT.
- CARPET (CPT-1)
- CARPET (CPT-2)
- CARPET (CPT-3)
- CARPET (CPT-4)
- WALK-OFF-MAT (WOM-1)
- LUXURY VINYL TILE (LVT-1)
- PORCELAIN CERAMIC TILE (PCT-1)
- EXISTING LUXURY VINYL PLANK (MAINTAIN & PROTECT)

KEYED NOTES

- NEW GLASS MARKER BOARD PANELS (GMB-1). MANUFACTURER: DEKO PRODUCT: DIAMOND, MAGNETIC SIZE 4' X 8' COLOR: TBD
- ACCENT CARPET STARTING POINT
- EXISTING LUXURY VINYL TILE - MAINTAIN & PROTECT. REMOVE, CUT, AND REINSTALL PLANKS AS NECESSARY FOR NEW WALL. EXISTING WALL BASE - DEMOLISH & REMOVE. INSTALL NEW WALL BASE.
- NEW CASEWORK. SEE INTERIOR ELEVATIONS.
- FEATHER FINISH FLOOR AT FINISH TRANSITION TO ACHIEVE A FLUSH & LEVEL SURFACE.
- EXISTING STAIRS - MAINTAIN & PROTECT EXISTING CERAMIC TILE TREADS. PAINT RISERS, GUARDRAILS, & STRINGERS.

PRINT IN COLOR

KEY PLAN

BID SET

SOLU LANG

ARCHITECTS

1101 Old Marion Rd
NE
Cedar Rapids, Iowa
52402
t: 319.802.0384

All reports, plans, specifications, computer files, field data, notes, and other documents and instruments prepared by Solum Lang Architects, LLC as instruments of service shall remain the property of Solum Lang Architects, LLC. Solum Lang Architects, LLC shall retain all common law, statutory and other reserved rights, including copyright thereto.

REVISION:
ISSUE
DATE & TITLE

02.08.11.28 ADD. 02

1025 Kirkwood Pkwy SW
Cedar Rapids, IA 52404

Kirkwood East Hall - Remodel
New Finish Plan - Level 2 - Area A

DATE

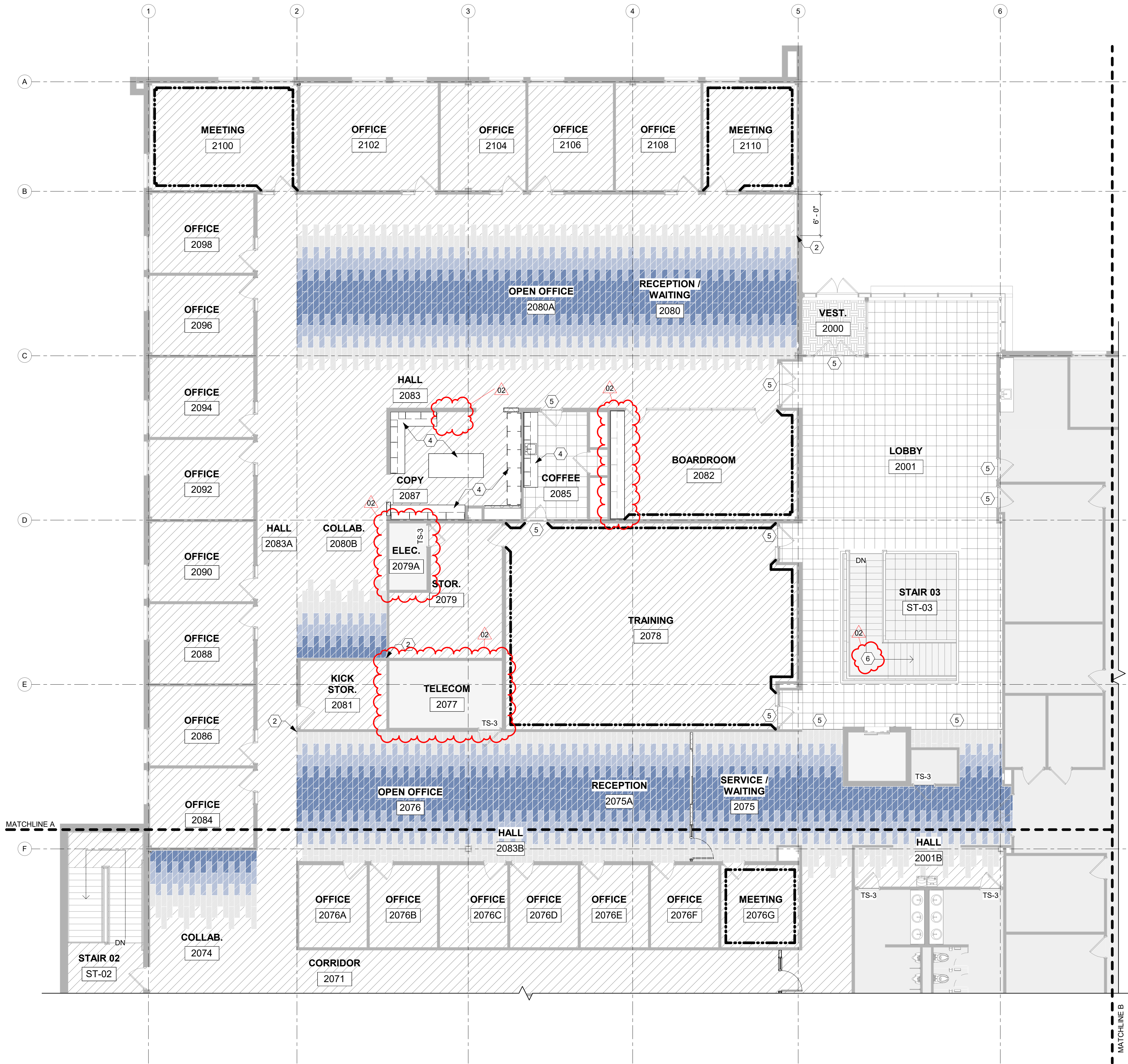
07.23.2026

DRAWING NUMBER

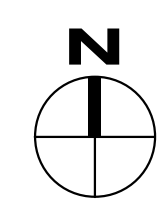
A132.A

PROJECT NUMBER

25030



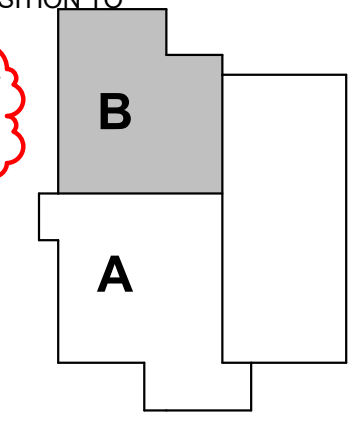
1 NEW WORK FINISH PLAN - LEVEL 2 - Area B (Northwest)
A132.B 1/8" = 1'-0"



- GENERAL NOTES**
- IN THE EVENT OF A DISCREPANCY WITH ARCHITECTURAL / CONSULTANT DRAWINGS, NOTIFY ARCHITECT IMMEDIATELY, PRIOR TO COMMENCING WORK.
 - CONTRACTORS & MATERIAL SUPPLIERS SHALL FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS ASSOCIATED WITH THE WORK & REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
 - WHERE EXISTING FLOORING HAS BEEN DEMOLISHED, PROVIDE FLOOR LEVELER TO MAINTAIN SMOOTH EVEN SURFACE ACCEPTABLE FOR NEW FLOORING.
 - ALL FLOOR TRANSITIONS TO BE CENTERED UNDER THE DOOR LEAF.
 - PROVIDE FLOOR LEVELER AS NEEDED BETWEEN DIS-SIMILAR FLOOR FINISHES.
 - RESILIENT BASE TO BE INSTALLED IN ALL ROOMS WITHIN PROJECT SCOPE UNLESS NOTED OTHERWISE.
 - INSTALL ALL FINISHES PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - INSTALL ALL FLOOR FINISHES USING MANUFACTURER'S RECOMMENDED ADHESIVE.
 - SEE FINISH SCHEDULE FOR EXACT FINISH SELECTIONS.
 - INSTALL CORNER GUARDS (CG-1) AT ALL OUTSIDE CORNERS IN PROJECT SCOPE.
 - PAINT ALL EXISTING HOLLOW METAL FRAMES & DOORS IN PROJECT SCOPE (PT-3).

- LEGEND**
- ACCENT PAINT
 - EPOXY PAINT (EPT-1)
 - WALL PORCELAIN CERAMIC TILE (PCT-2)
 - SOLID SURFACE CHAIR RAIL (SS-1)
 - TRANSITIONS STRIP (TS-#) - SEE ROOM FINISH LEGEND
 - FLOORING INSTALL DIRECTION
 - NOT IN PROJECT SCOPE - MAINTAIN & PROTECT ALL EXISTING.
 - NEW CONSTRUCTION.
 - EXISTING CONSTRUCTION - MAINTAIN & PROTECT.
 - CARPET (CPT-1)
 - CARPET (CPT-2)
 - CARPET (CPT-3)
 - CARPET (CPT-4)
 - WALK-OFF-MAT (WOM-1)
 - LUXURY VINYL TILE (LVT-1)
 - PORCELAIN CERAMIC TILE (PCT-1)
 - EXISTING LUXURY VINYL PLANK (MAINTAIN & PROTECT)

- KEYED NOTES**
- NEW GLASS MARKER BOARD PANELS (GMB-1). MANUFACTURER: DEKO PRODUCT: DIAMOND, MAGNETIC SIZE 4' X 8' COLOR: TBD
 - ACCENT CARPET STARTING POINT
 - EXISTING LUXURY VINYL TILE - MAINTAIN & PROTECT. REMOVE, CUT, AND REINSTALL PLANKS AS NECESSARY FOR NEW WALL. EXISTING WALL BASE - DEMOLISH & REMOVE. INSTALL NEW WALL BASE.
 - NEW CASEWORK. SEE INTERIOR ELEVATIONS.
 - FEATHER FINISH FLOOR AT FINISH TRANSITION TO ACHIEVE A FLUSH & LEVEL SURFACE.
 - EXISTING STAIRS - MAINTAIN & PROTECT EXISTING CERAMIC TILE TREADS. PAINT RISERS, GUARDRAILS, & STRINGERS.



PRINT IN COLOR

KEY PLAN

BID SET

SOLUM LANG
ARCHITECTS
1101 Old Marion Rd
NE
Cedar Rapids, Iowa
52402
t: 319.862.0384

All reports, plans, specifications, computer files, field data, notes, and other documents and instruments prepared by Solum Lang Architects, LLC as instruments of service shall remain the property of Solum Lang Architects, LLC. Solum Lang Architects, LLC shall retain all common law, statutory and other reserved rights, including copyright thereto.

REVISION	DATE & TITLE
02	08.11.28 ADD 02

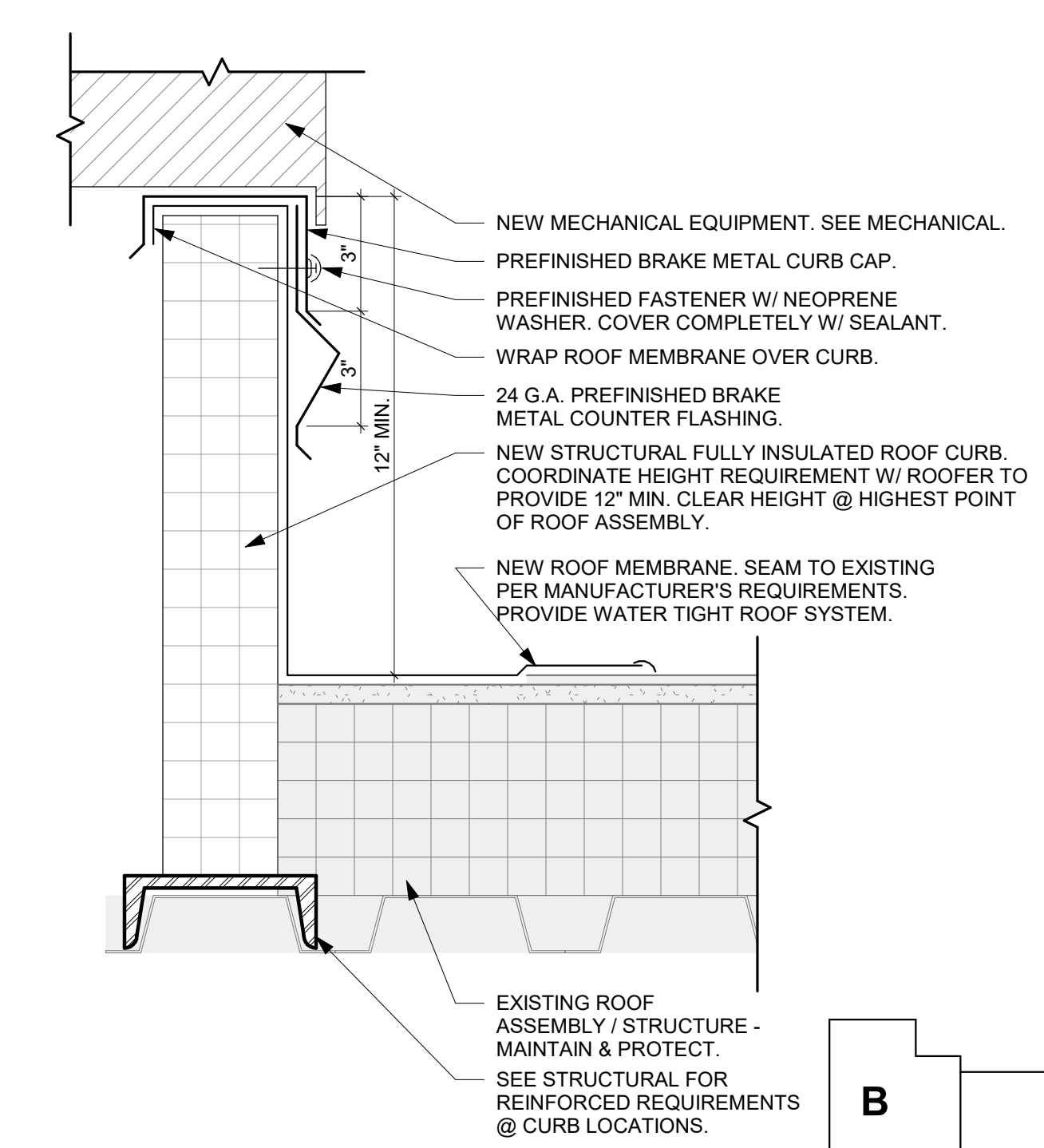
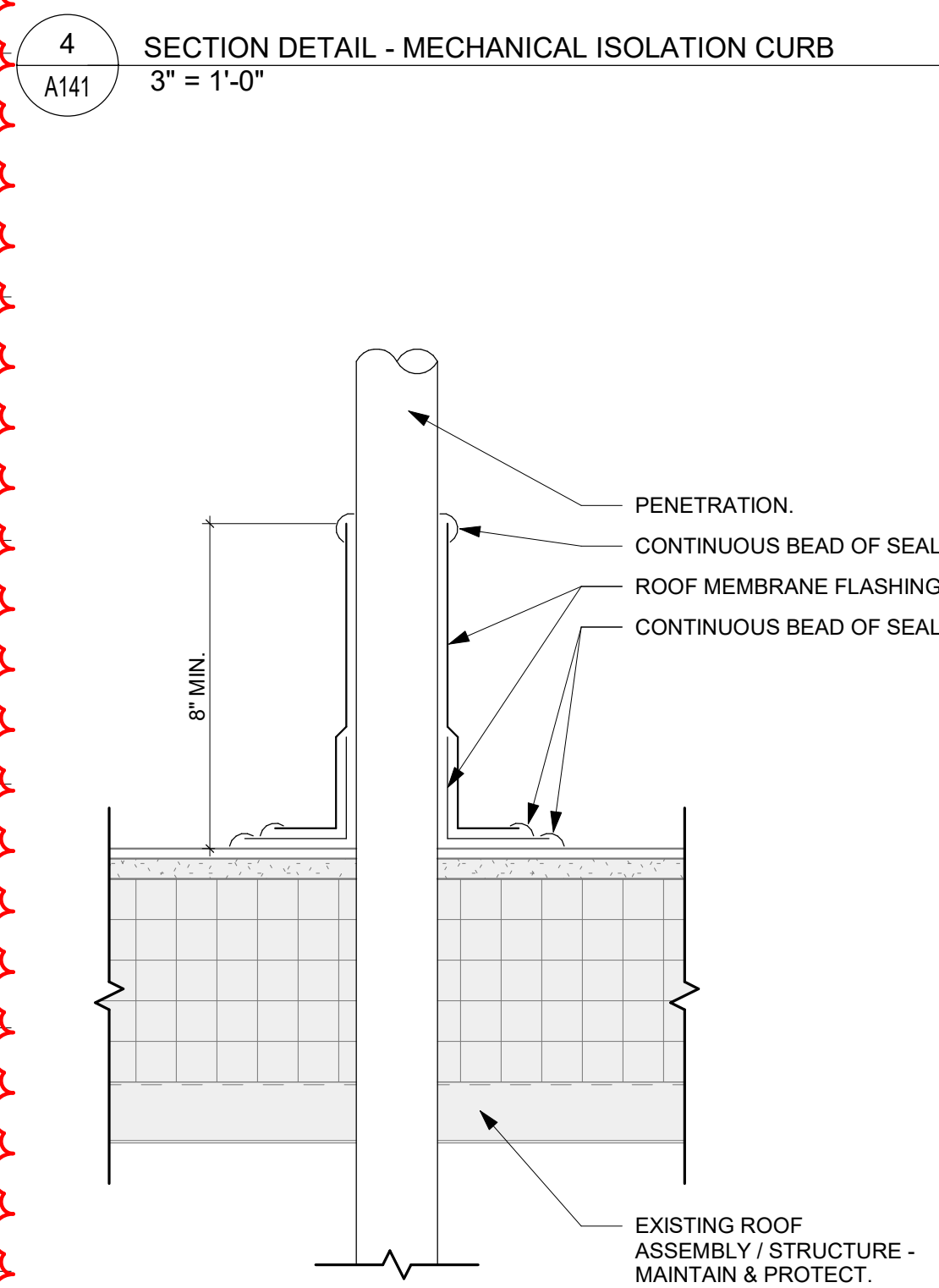
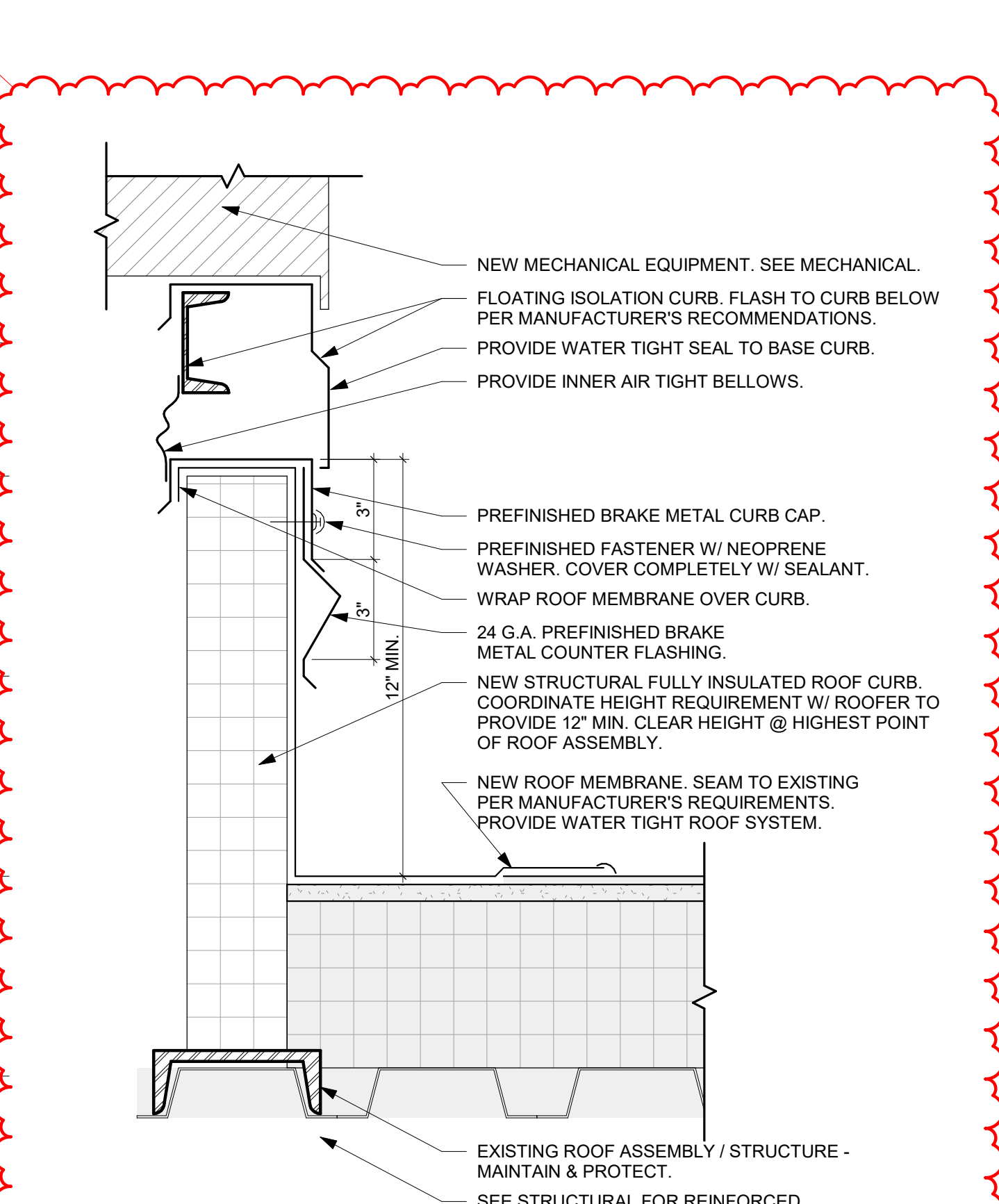
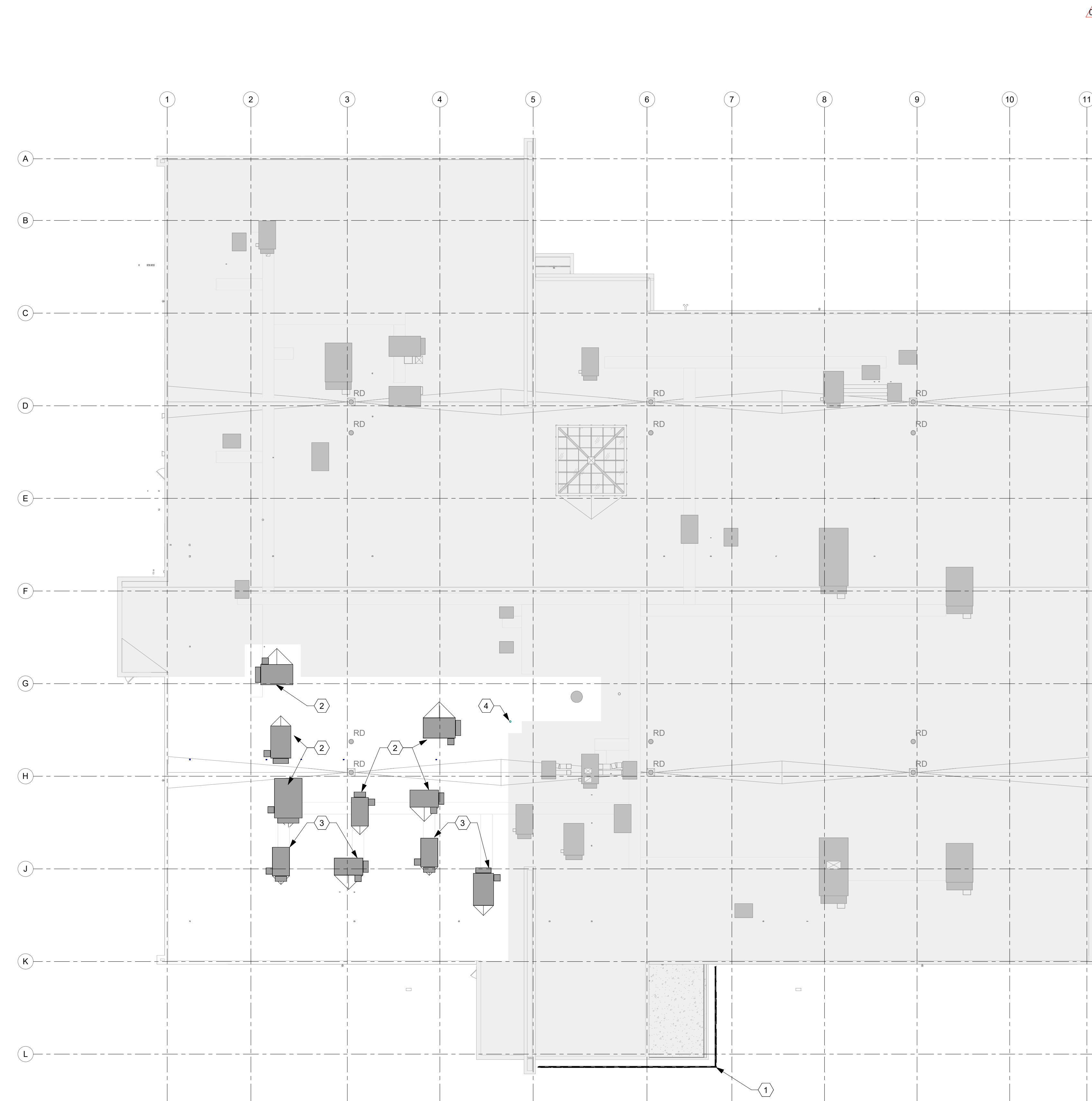
Kirkwood East Hall - Remodel
New Finish Plan - Level 2 - Area B

1025 Kirkwood Pkwy SW
Cedar Rapids, IA 52404

DATE
07.23.2026

DRAWING NUMBER
A132.B

PROJECT NUMBER
25030

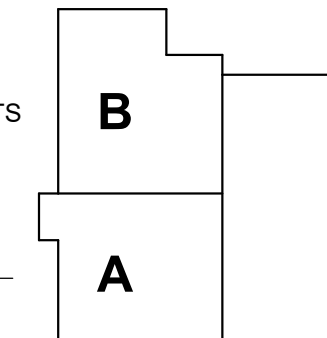
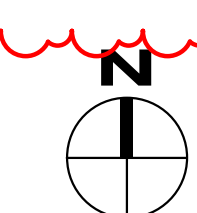


- GENERAL NOTES**
- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS & DIMENSIONS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING WORK.
 - DIMENSIONS TAKEN FROM FINISH FACE OF WALL & EXTERIOR FACE OF STRUCTURAL MEMBERS UNLESS NOTED OTHERWISE.
 - PROTECT EXISTING ROOF SURFACE. DOCUMENT EXISTING DAMAGE PRIOR TO CONSTRUCTION. REPAIR ANY NEW DAMAGE TO PRE-CONSTRUCTION CONDITION.
- ROOF PLAN LEGEND**
- NOT IN PROJECT SCOPE - MAINTAIN & PROTECT ALL EXISTING.
 - RD EXISTING ROOF DRAIN - MAINTAIN & PROTECT.
- ROOF PLAN KEYED NOTES**
- NEW EXTERIOR SIGN ELEMENT. SEE EXTERIOR ELEVATIONS.
 - INSTALL NEW MECHANICAL EQUIPMENT, ROOF CURB, & CRICKET. SEE MECHANICAL, ELECTRICAL, & PLUMBING DRAWINGS FOR COMPLETE SCOPE.
 - INSTALL NEW MECHANICAL EQUIPMENT & MODIFY EXISTING ROOF CURB & CRICKET AS NEEDED. SEE MECHANICAL, ELECTRICAL, & PLUMBING DRAWINGS FOR COMPLETE SCOPE.
 - NEW ROOF VENT. INSULATE / FLASH / SEAL INTO EXISTING ROOF.

1 NEW WORK ROOF PLAN
A141 1/16" = 1'-0"

2 SECTION DETAIL - ROOF PENETRATION, FIELD FLASHING
A141 3" = 1'-0"

3 SECTION DETAIL - MECHANICAL CURB (TYP.)
A141 3" = 1'-0"



KEY PLAN
BID SET

SOLUMLANGARCHITECTS1101 Old Marion Rd NE Cedar Rapids, Iowa 52402t: 319.862.0384

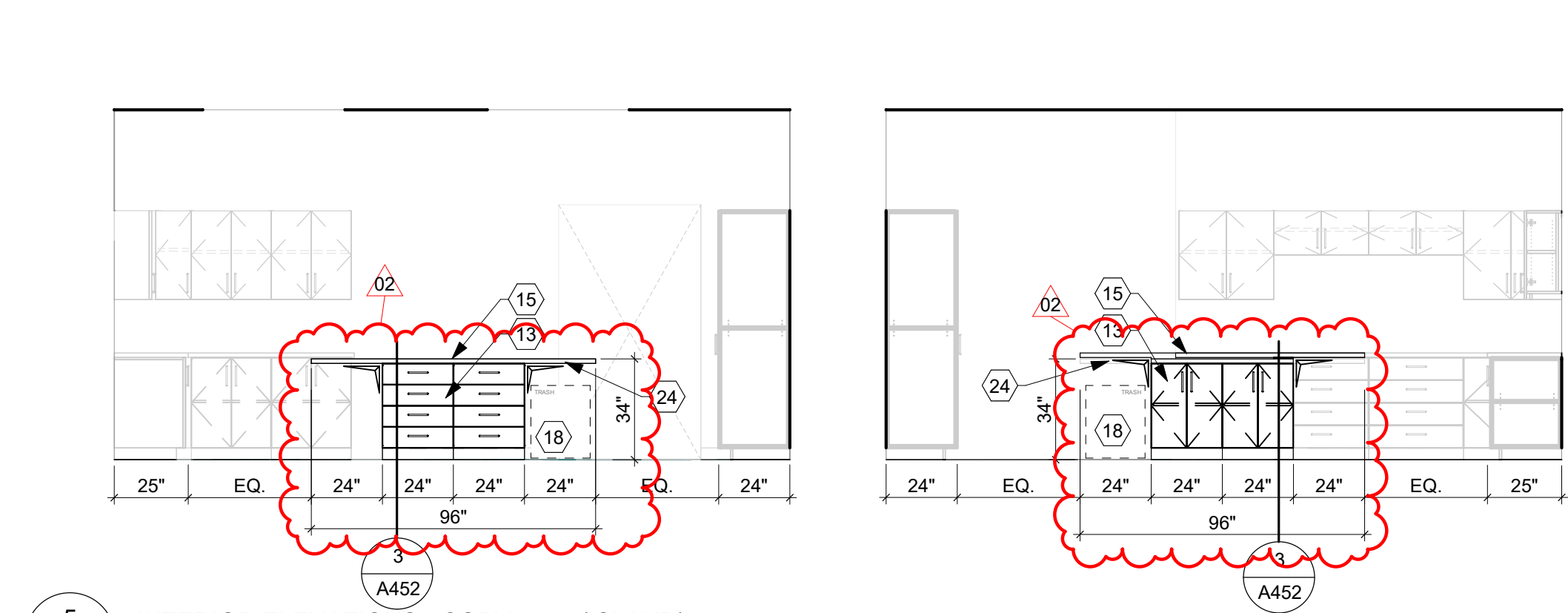
All reports, plans, specifications, computer files, field data, notes, and other documents and instruments prepared by Solum Lang Architects, LLC shall remain the property of Solum Lang Architects, LLC. Solum Lang Architects, LLC shall retain all common law, statutory and other reserved rights, including copyright thereto.

REVISION
ISSUE
DATE & TITLE
02, 08.11.28 ADD, 02

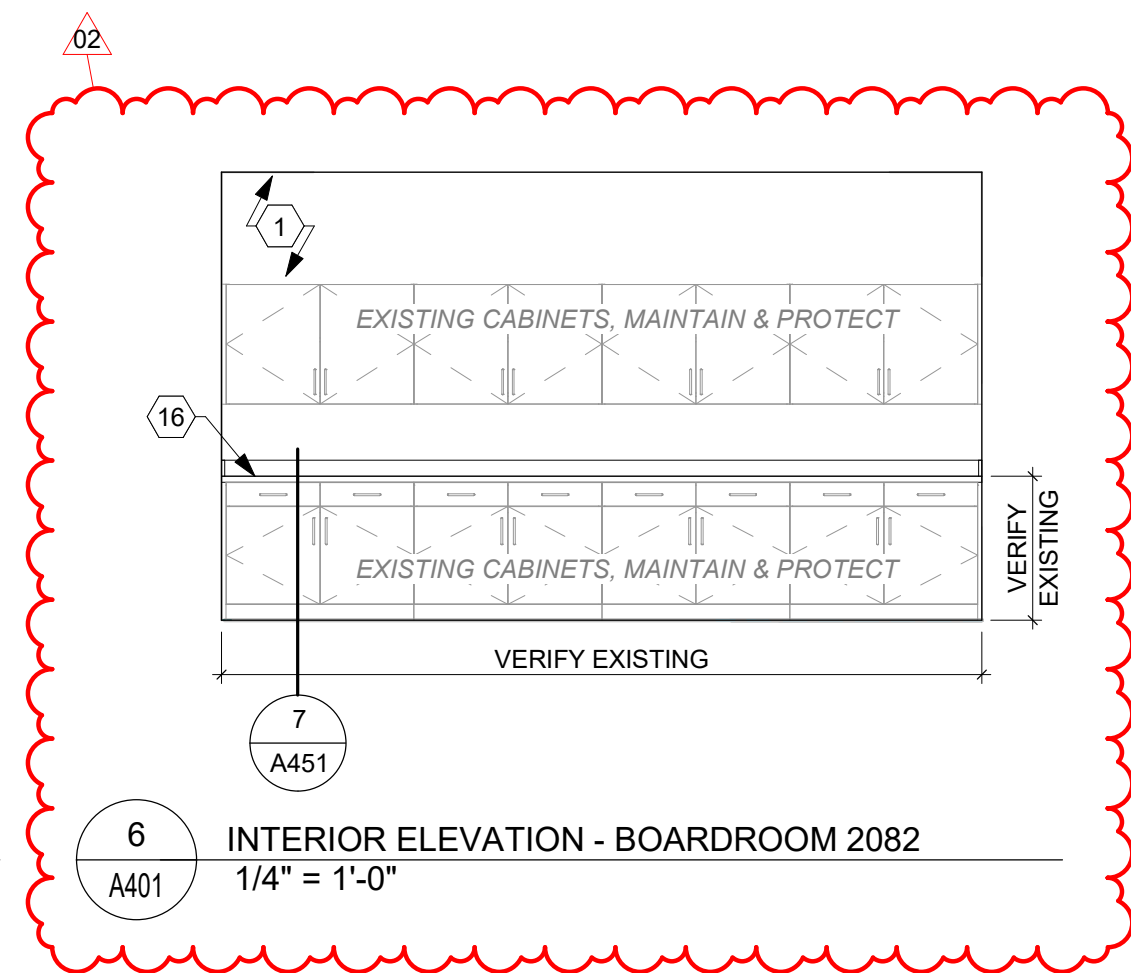
1025 Kirkwood Pkwy SW Cedar Rapids, IA 52404

Kirkwood East Hall - Remodel
New Roof Plan

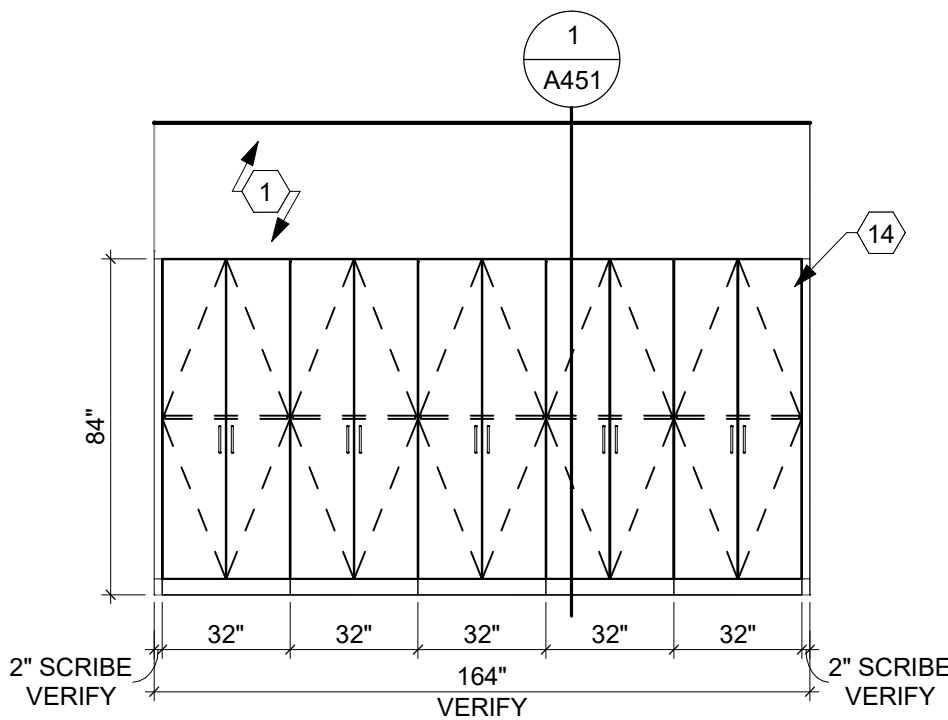
DATE
07.23.2026
DRAWING NUMBER
A141
PROJECT NUMBER
25030



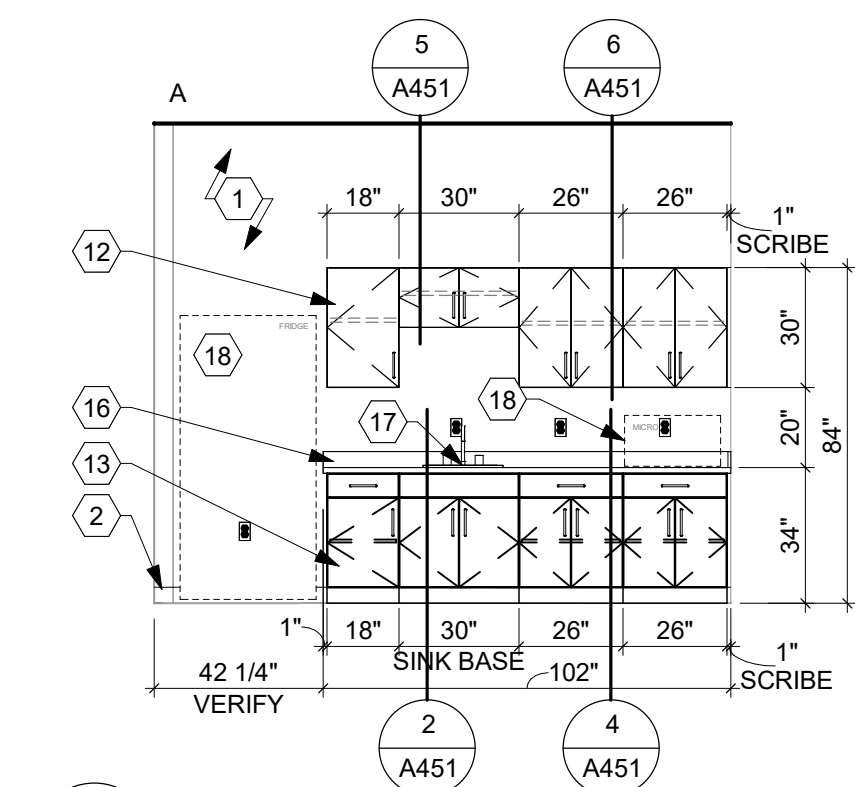
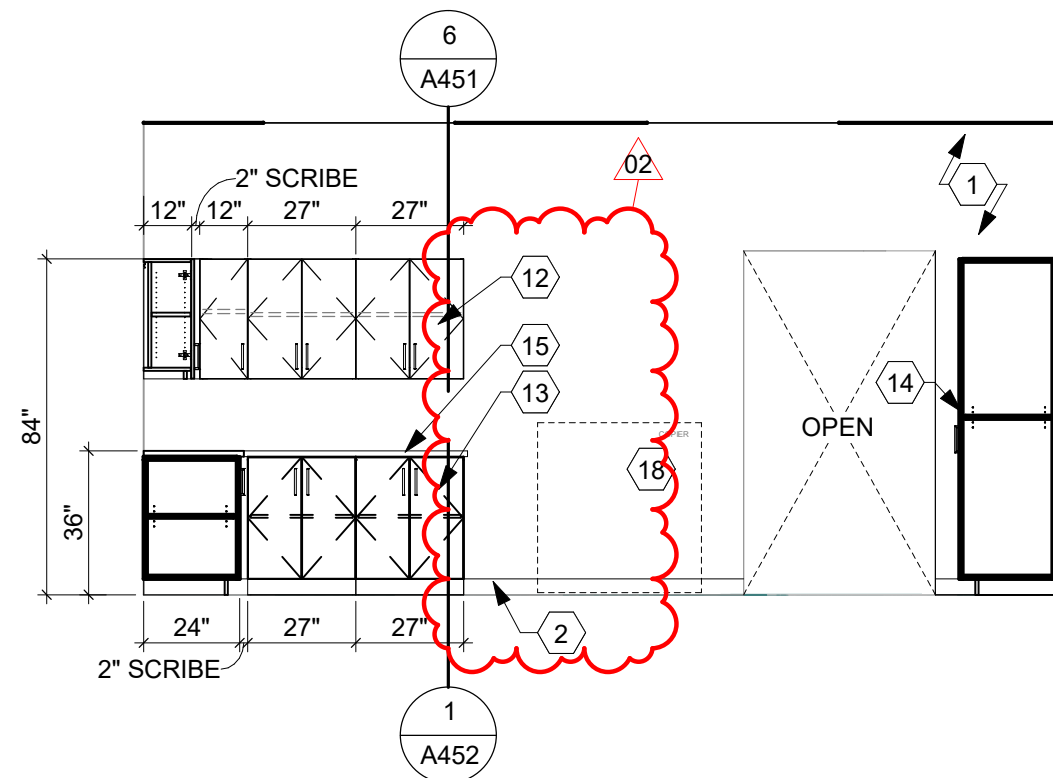
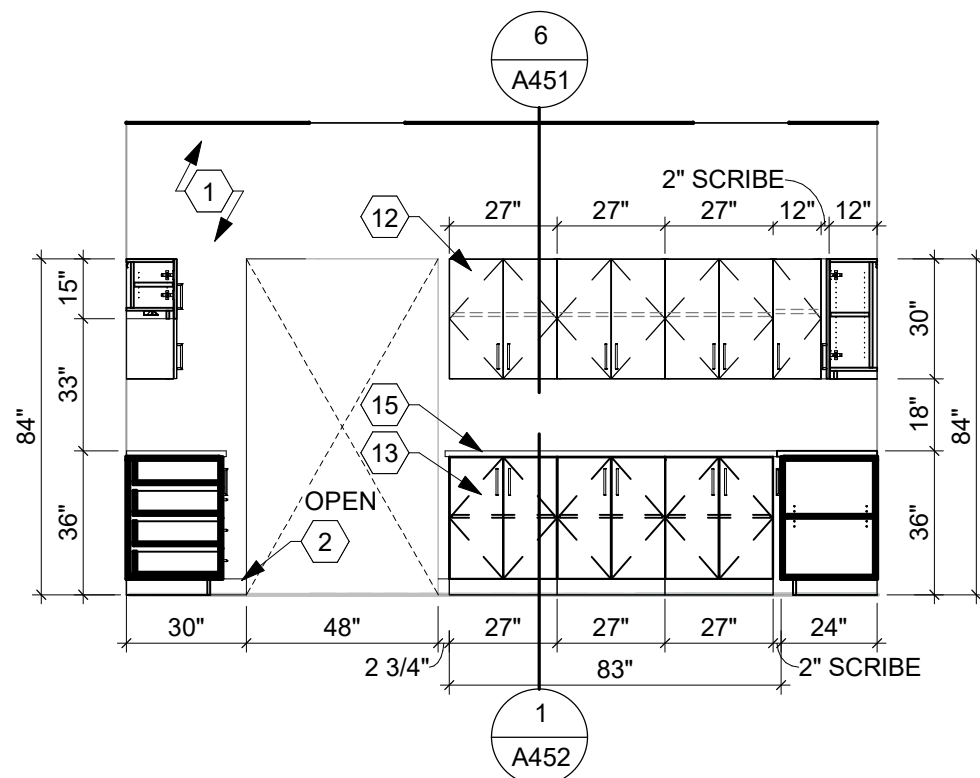
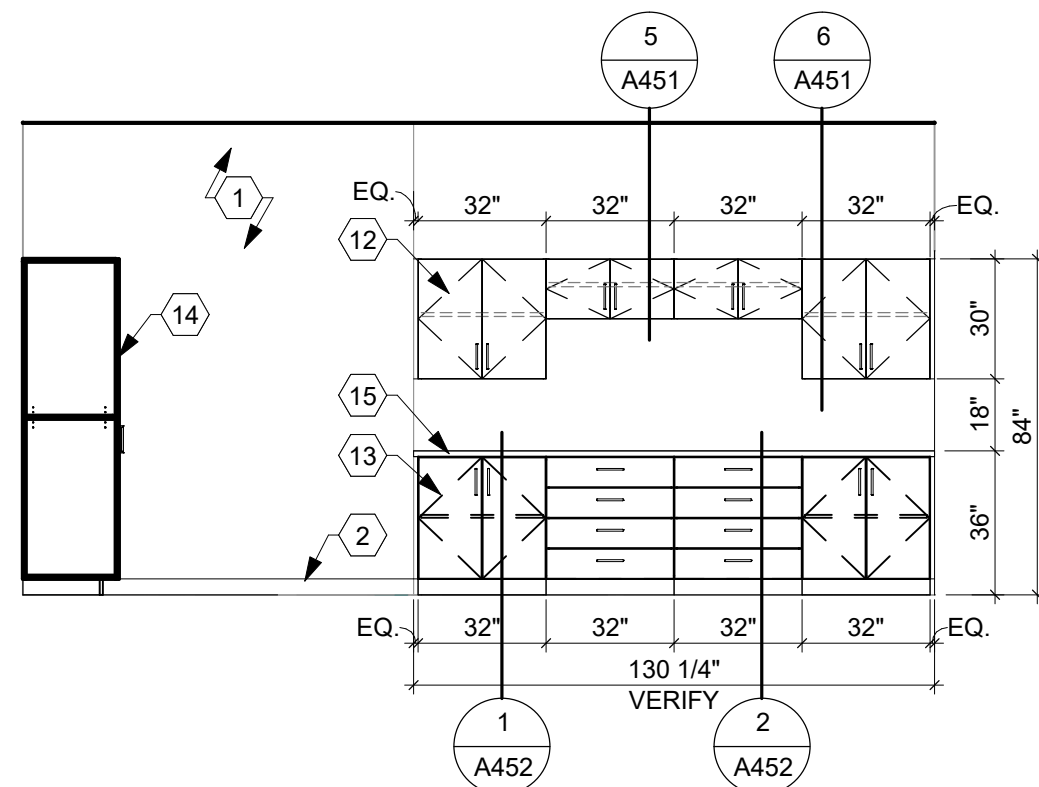
5 INTERIOR ELEVATIONS - COPY 2087 (ISLAND)
1/4" = 1'-0"



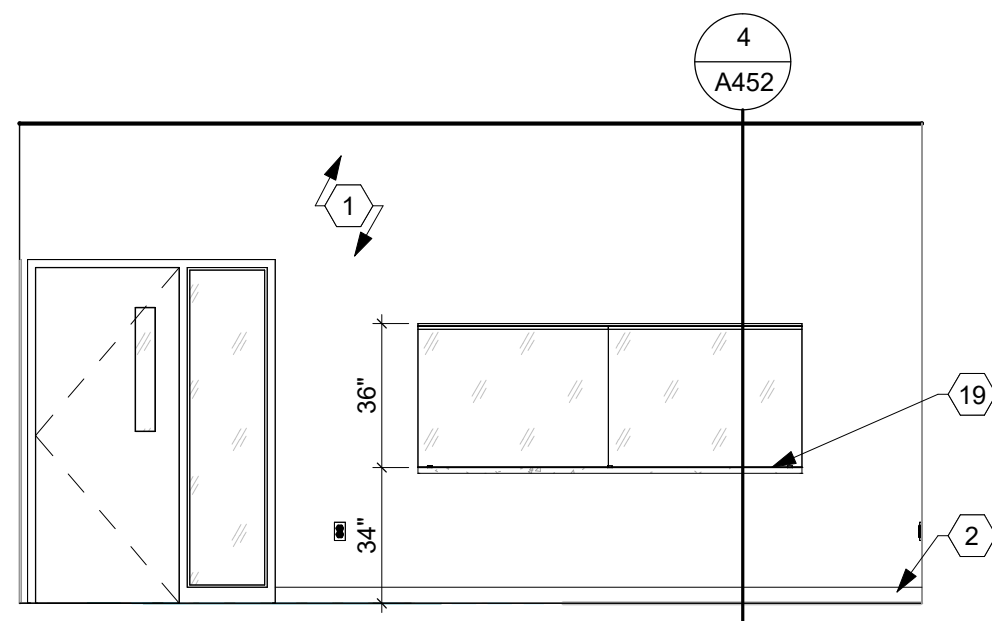
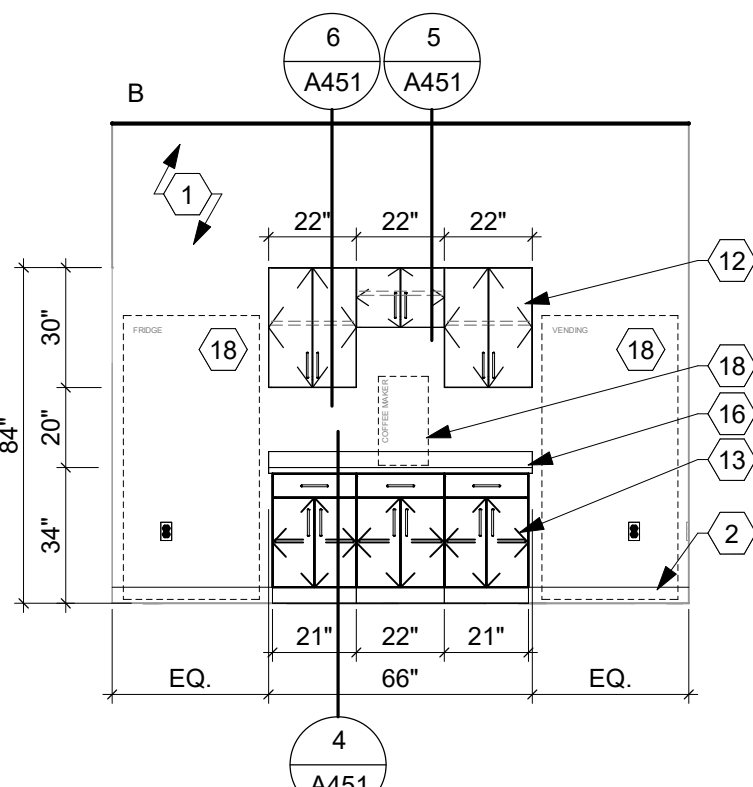
6 INTERIOR ELEVATION - BOARDROOM 2082
1/4" = 1'-0"



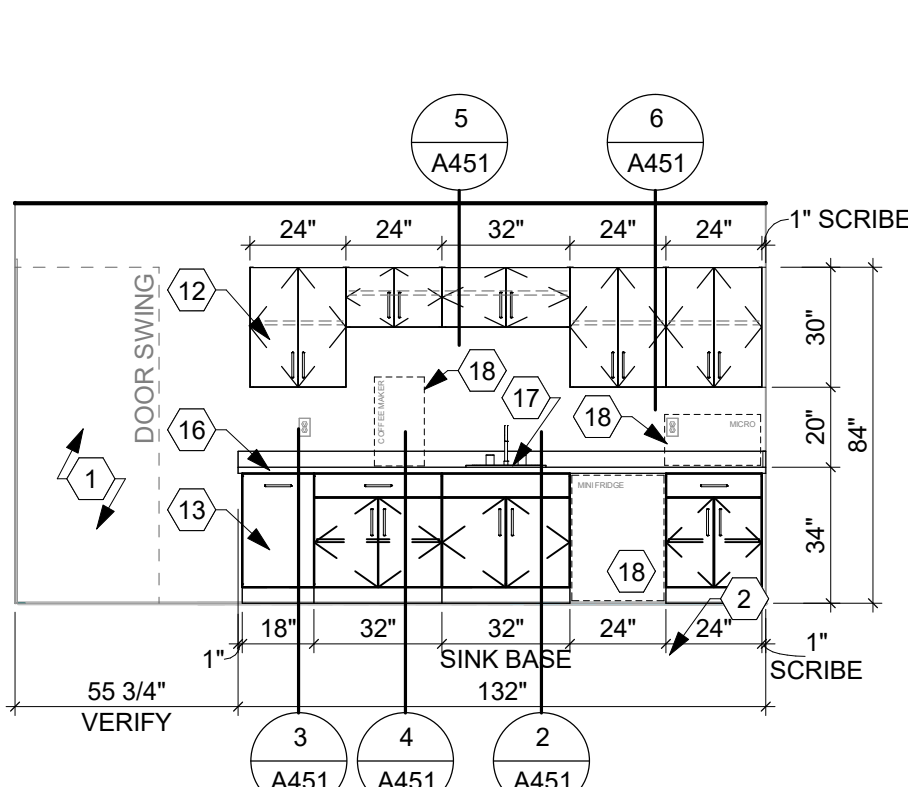
4 INTERIOR ELEVATIONS - COPY 2087
1/4" = 1'-0"



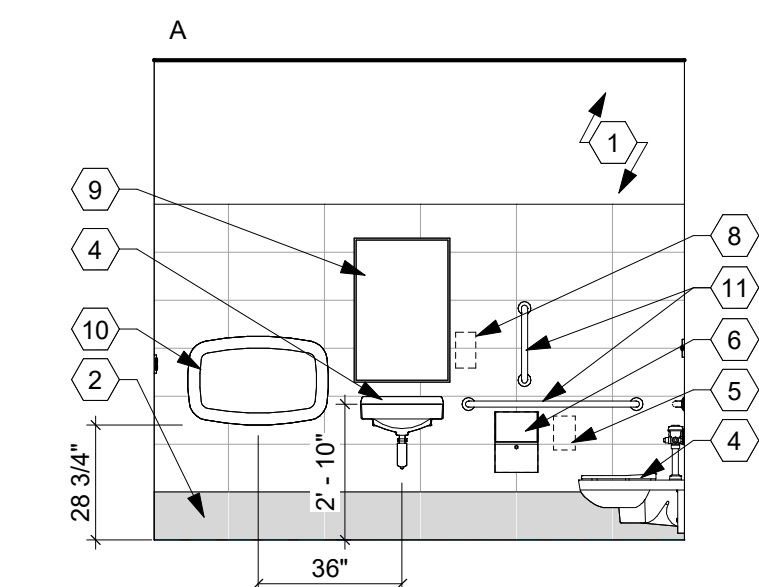
3 INTERIOR ELEVATIONS - BREAK ROOM 1002L
1/4" = 1'-0"



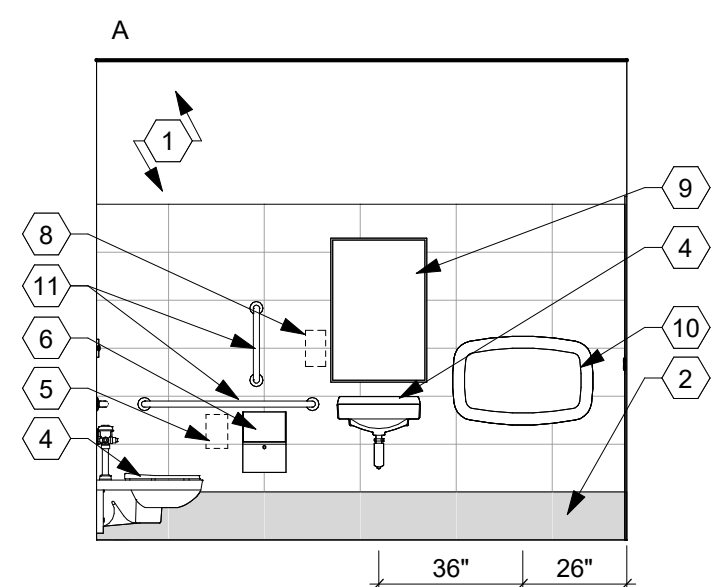
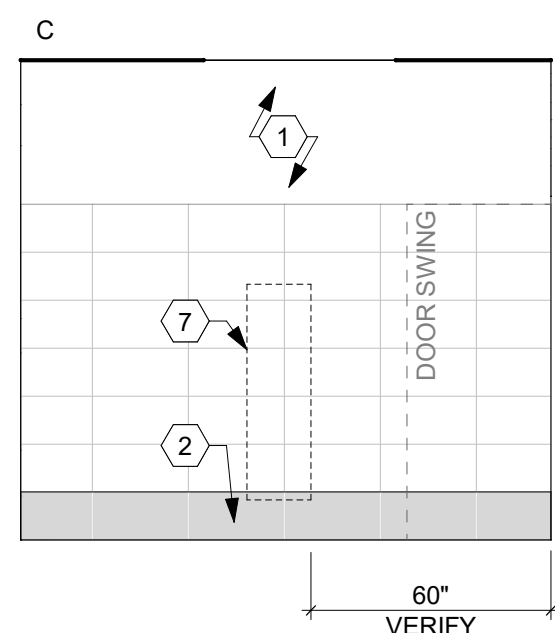
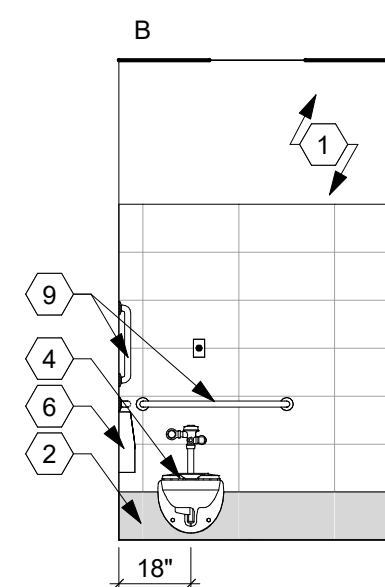
7 INTERIOR ELEVATIONS - SERVICE WAITING 2075
1/4" = 1'-0"



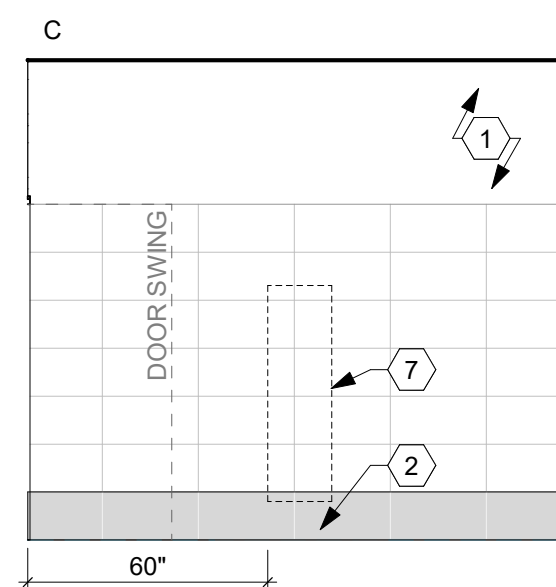
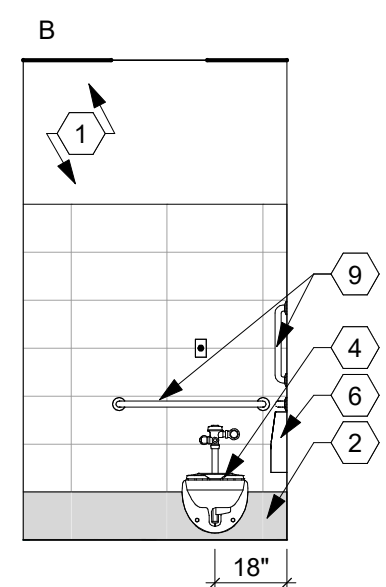
12 INTERIOR ELEVATIONS - COFFEE 2085
1/4" = 1'-0"



1 INTERIOR ELEVATIONS - RESTROOM 1011
1/4" = 1'-0"



2 INTERIOR ELEVATIONS - RESTROOM 1009
1/4" = 1'-0"



GENERAL NOTES

- CONTRACTORS & MATERIAL SUPPLIERS SHALL FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS ASSOCIATED WITH THE WORK & REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY, PRIOR TO COMMENCING WORK.
- REFERENCE ENGINEERING DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, & PLUMBING WORK.

UNIT PLAN KEYED NOTES

- PAINT. SEE FINISH LEGEND & FINISH SCHEDULE.
- WALL BASE. SEE FINISH LEGEND & FINISH SCHEDULE.
- GYPSUM BULKHEAD.
- NEW PLUMBING FIXTURES. SEE PLUMBING DRAWINGS.
- TOILET PAPER DISPENSER. OWNER PROVIDED, CONTRACTOR INSTALLED. VERIFY SIZE & LOCATION PRIOR TO INSTALLATION.
- SANITARY DISPENSER. CONTRACTOR PROVIDED, CONTRACTOR INSTALLED.
- PAPER TOWEL DISPENSER. OWNER PROVIDED, CONTRACTOR INSTALLED. VERIFY SIZE & LOCATION PRIOR TO INSTALLATION.
- SOAP DISPENSER. OWNER PROVIDED, CONTRACTOR INSTALLED. VERIFY SIZE & LOCATION PRIOR TO INSTALLATION.
- 2X4 MIRROR. CONTRACTOR PROVIDED, CONTRACTOR INSTALLED.
- BABY CHANGING TABLE. CONTRACTOR PROVIDED, CONTRACTOR INSTALLED.
- WALL-MOUNTED GRAB BARS. PROVIDE BLOCKING AS REQUIRED. CONTRACTOR PROVIDED, CONTRACTOR INSTALLED.
- PLASTIC LAMINATE UPPER WALL CABINETS W/ DOORS & ADJUSTABLE SHELVES AS SHOWN.
- PLASTIC LAMINATE BASE CABINETS W/ DOORS, DRAWERS & ADJUSTABLE SHELVES AS SHOWN.
- PLASTIC LAMINATE FULL HEIGHT CABINETS W/ DOORS, DRAWERS & ADJUSTABLE SHELVES AS SHOWN.
- PLASTIC LAMINATE COUNTERTOP W/ BACK & SIDE SPLASHES AS SHOWN. SEE FINISH LEGEND & FINISH SCHEDULE.
- QUARTZ COUNTERTOP W/ BACK & SIDE SPLASHES AS SHOWN. SEE FINISH LEGEND & FINISH SCHEDULE.
- STAINLESS STEEL UNDERMOUNT SINK.
- APPLIANCES / EQUIPMENT. OWNER PROVIDED, CONTRACTOR INSTALLED.
- QUARTZ TRANSACTION TOP.
- HANGING PANEL SYSTEM. PANELS, SUPPORTS, & STRUCTURAL DESIGN BY MANUFACTURER.
- EXISTING FIBER CEMENT BOARD PANELS - MAINTAIN & PROTECT.
- NEW FIBER CEMENT BOARD PANELS.
- ALIGN NEW JOINT W/ EXISTING JOINT.
- HEAVY DUTY COUNTERTOP SUPPORT BRACKET.

SOLU
LANG

ARCHITECTS

1101 Old Marion Rd
NE
Cedar Rapids, Iowa
52402
t: 319.862.0384

All reports, plans, specifications, computer files, field data, notes, and other documents and instruments prepared by Solum Lang Architects, LLC as instruments of service shall remain the property of Solum Lang Architects, LLC. Solum Lang Architects, LLC shall retain all common law, statutory and other reserved rights, including copyright thereto.

REVISION:
ISSUE
DATE & TITLE

02, 08.11.28 ADD. 02

1025 Kirkwood Pkwy SW
Cedar Rapids, IA 52404

Kirkwood East Hall - Remodel
Interior Elevations

DATE

07.23.2026

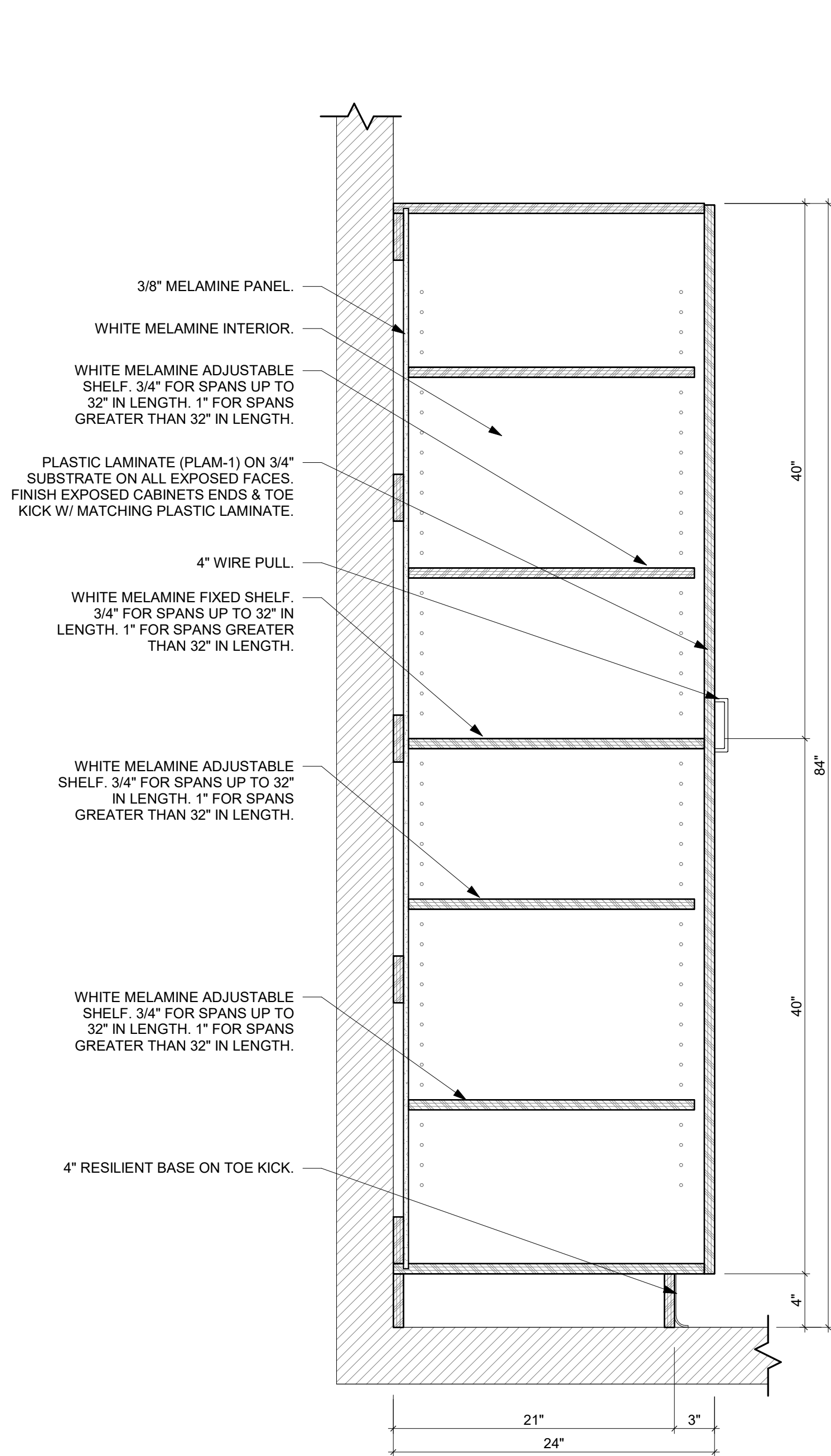
DRAWING NUMBER

A401

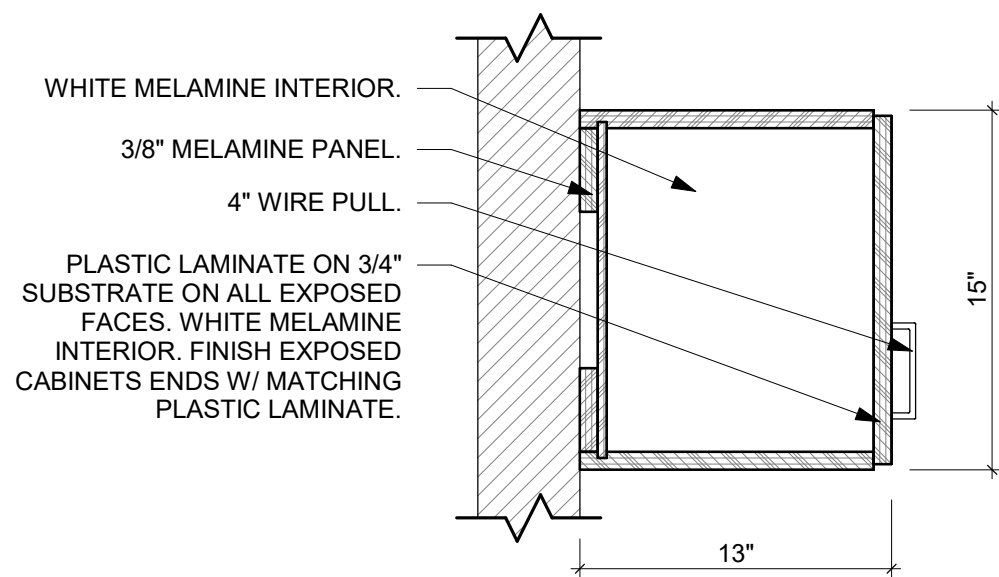
PROJECT NUMBER

25030

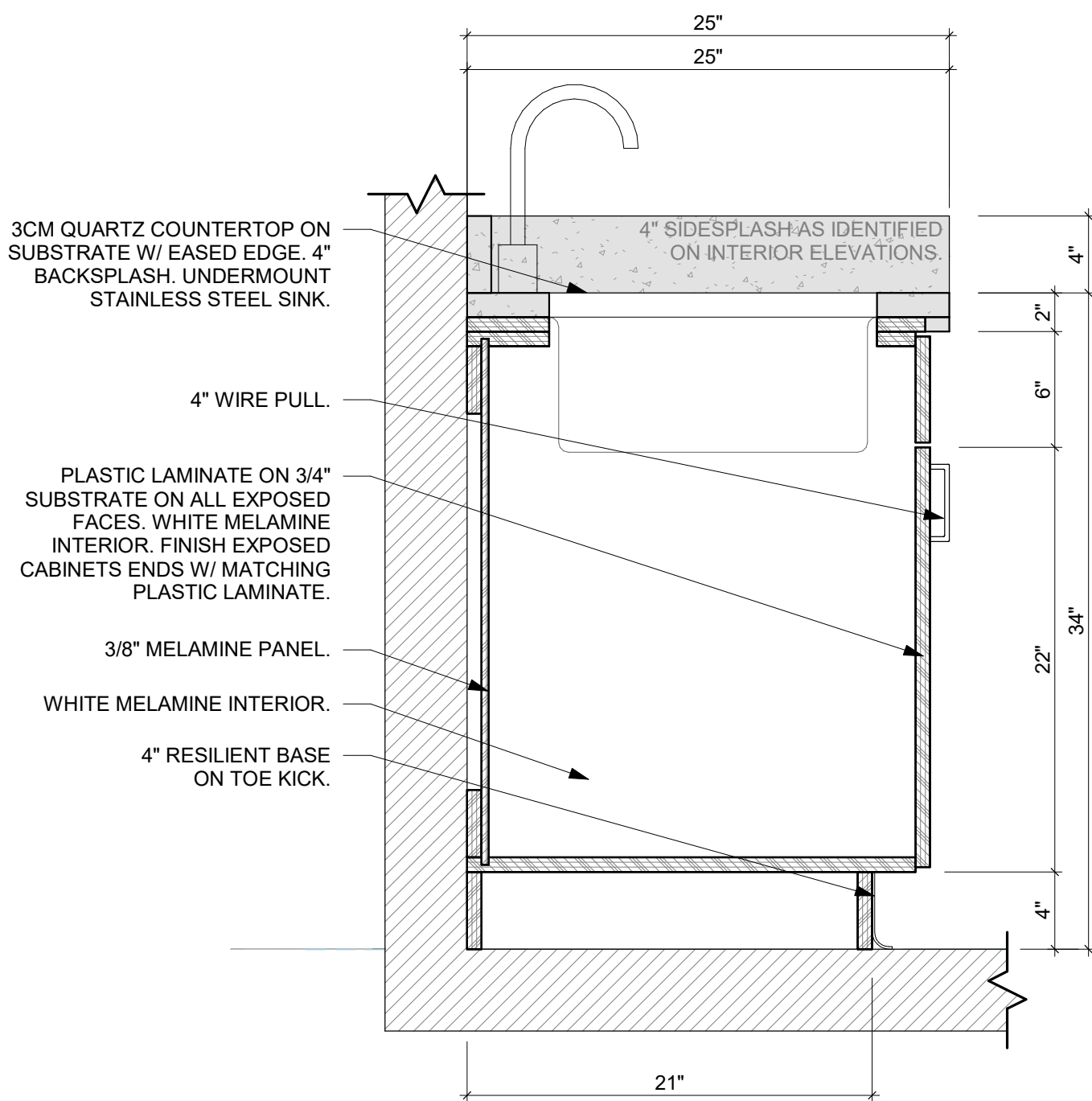
BID SET



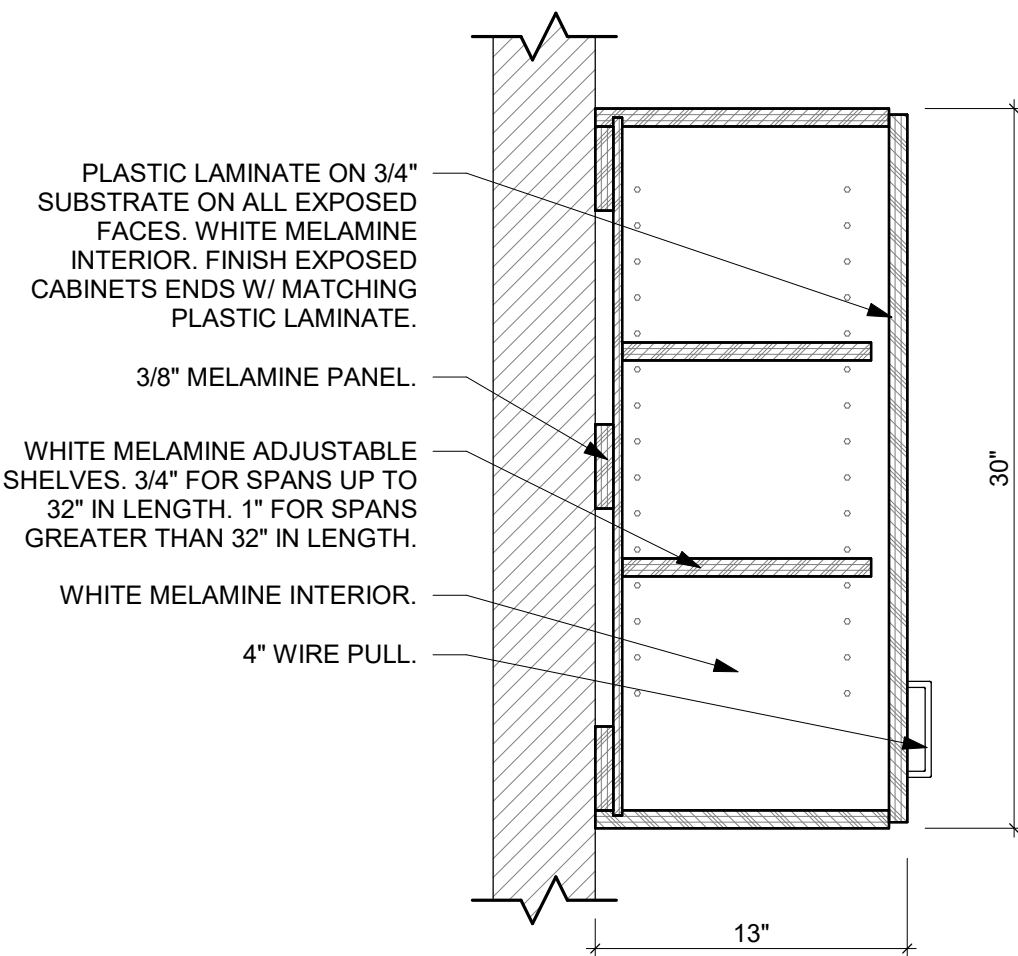
1 FULL CABINET - DOOR (84")
1 1/2" = 1'-0"



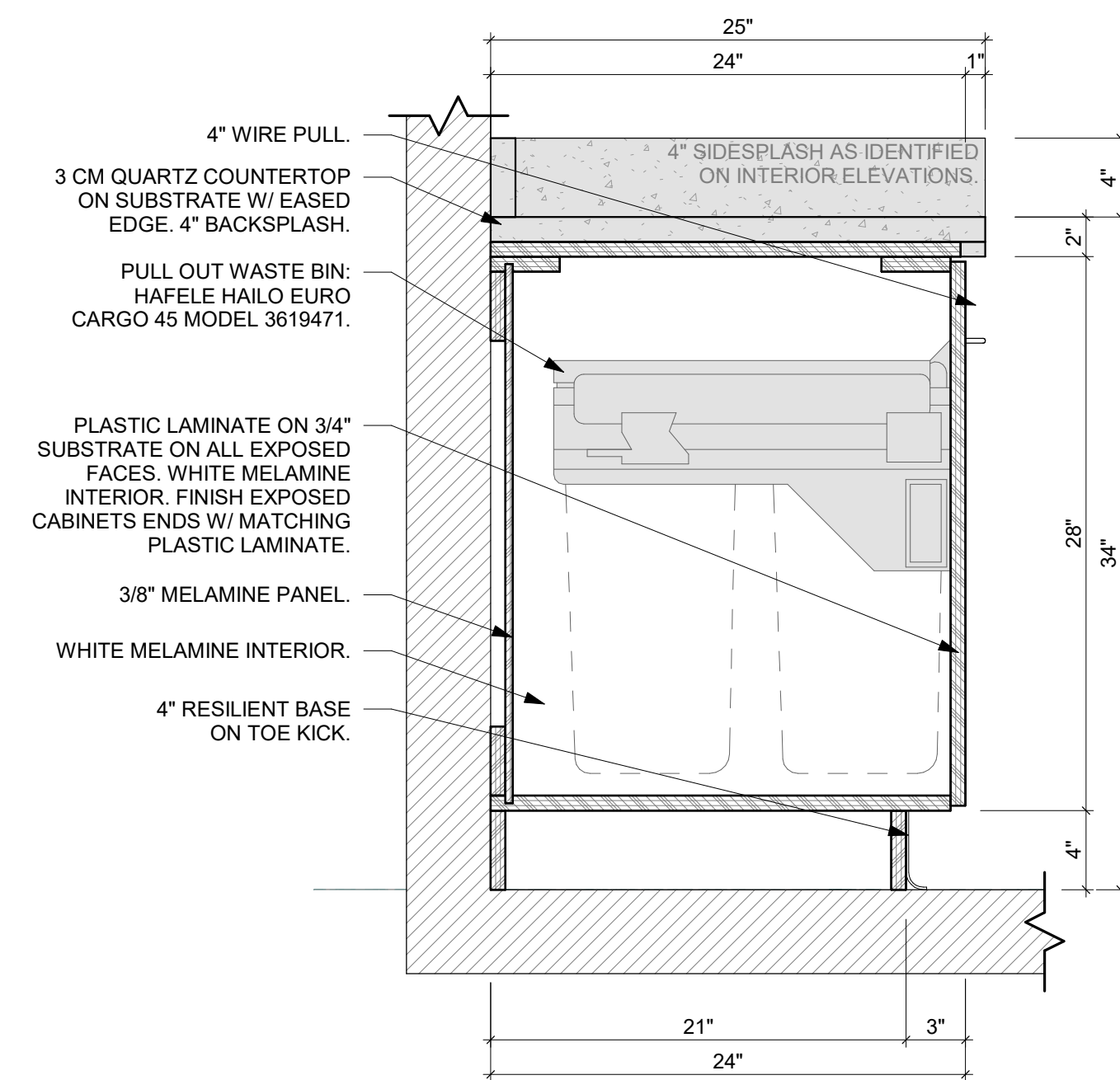
5 UPPER CABINET - DOOR (15")
1 1/2" = 1'-0"



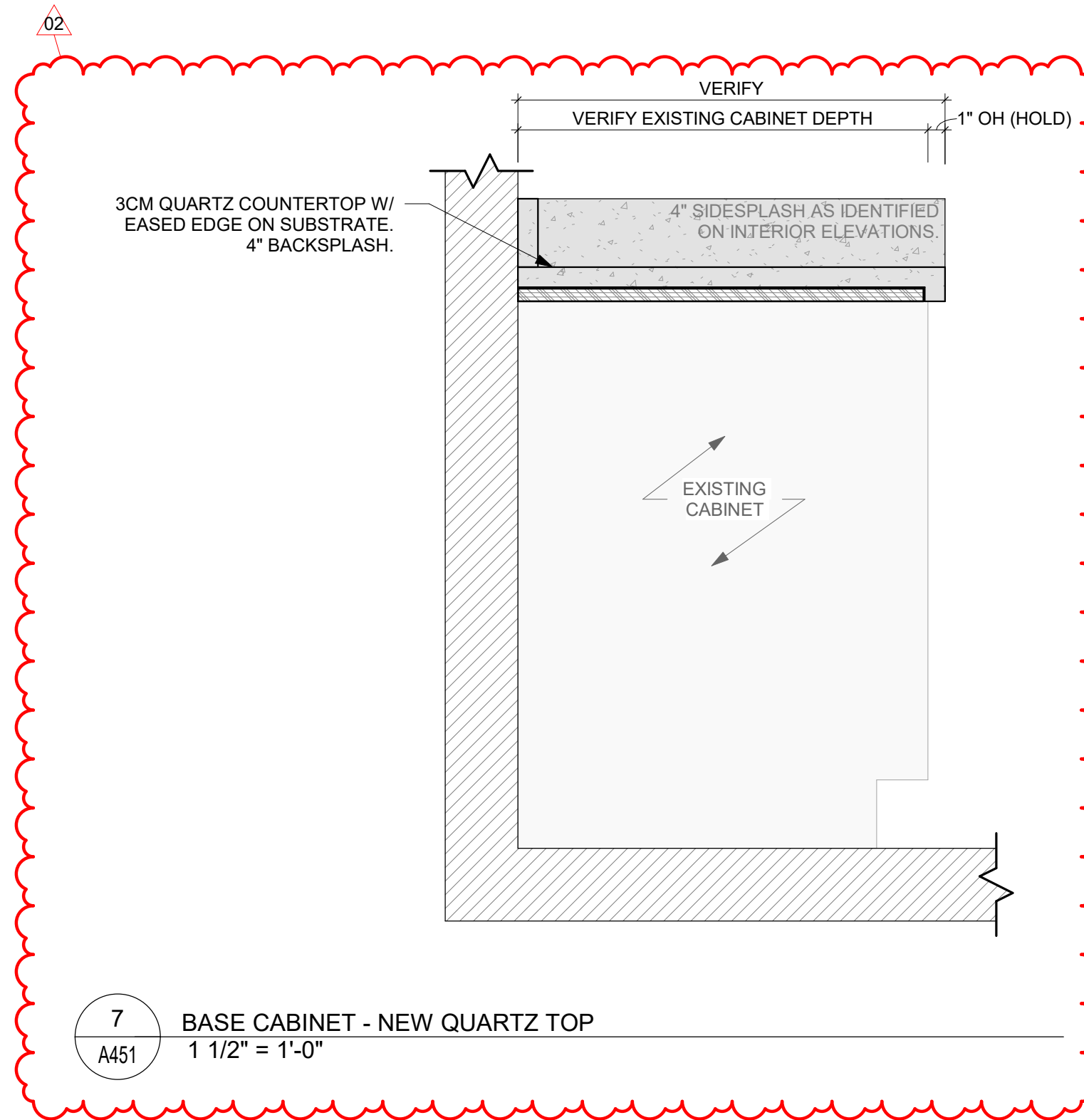
2 BASE CABINET - QUARTZ - SINK BASE (34")
1 1/2" = 1'-0"



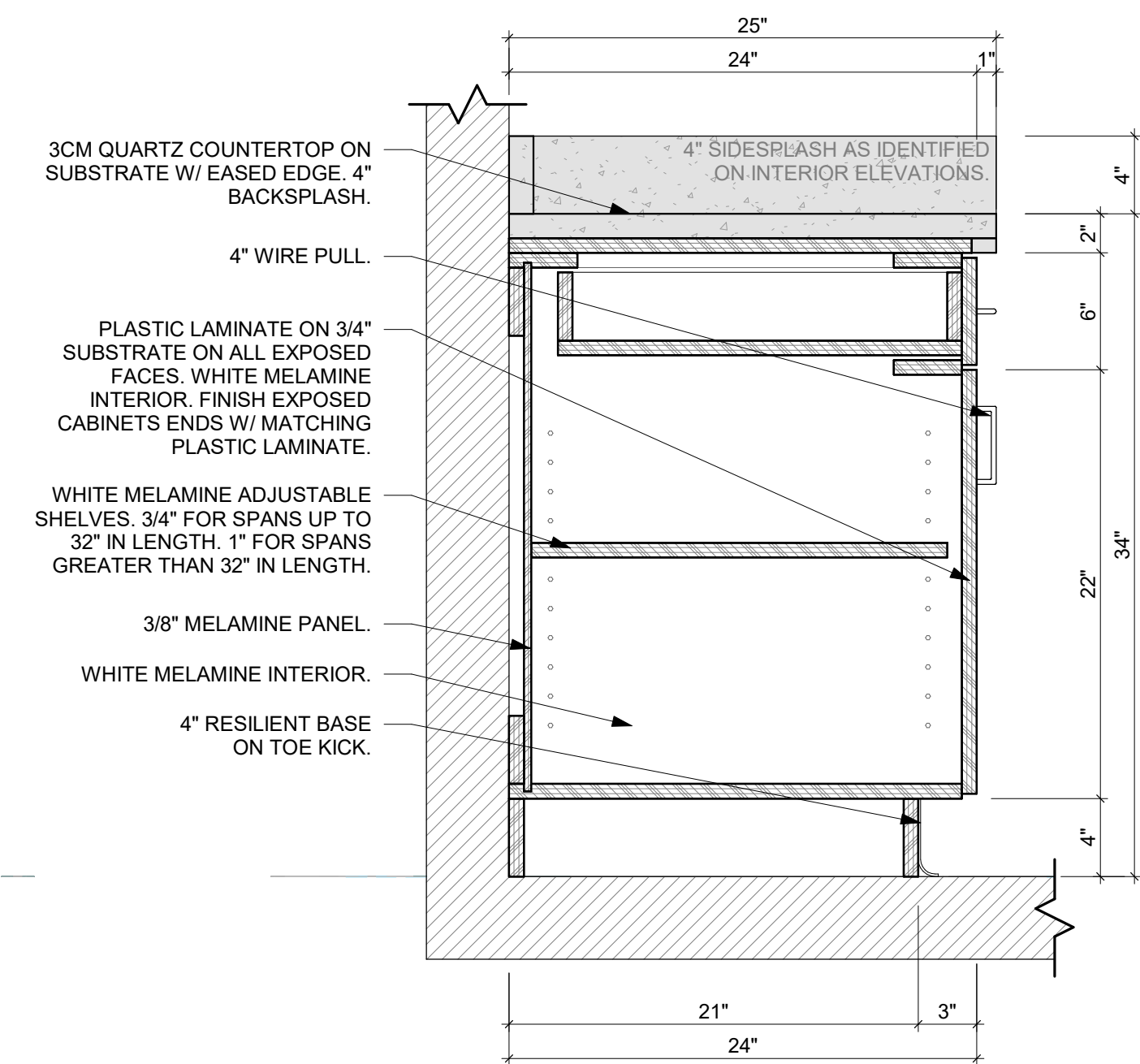
6 UPPER CABINET - DOOR (30")
1 1/2" = 1'-0"



3 BASE CABINET - QUARTZ - PULL OUT DRAWER (34")
1 1/2" = 1'-0"



7 BASE CABINET - NEW QUARTZ TOP
1 1/2" = 1'-0"



4 BASE CABINET - QUARTZ - DOOR + DRAWER (34")
1 1/2" = 1'-0"

SOLUM
LANG

ARCHITECTS

1101 Old Marion Rd
NE
Cedar Rapids, Iowa
52402
t: 319.862.0384

All reports, plans, specifications, computer files, field data, notes, and other documents and instruments prepared by Solum Lang Architects, LLC as instruments of service shall remain the property of Solum Lang Architects, LLC. Solum Lang Architects, LLC shall retain all common law, statutory and other reserved rights, including copyright thereto.

REVISION
ISSUE
DATE & TITLE

02 08.11.28 ADD. 02

1025 Kirkwood Pkwy SW
Cedar Rapids, IA 52404

Kirkwood East Hall - Remodel
Casework Details

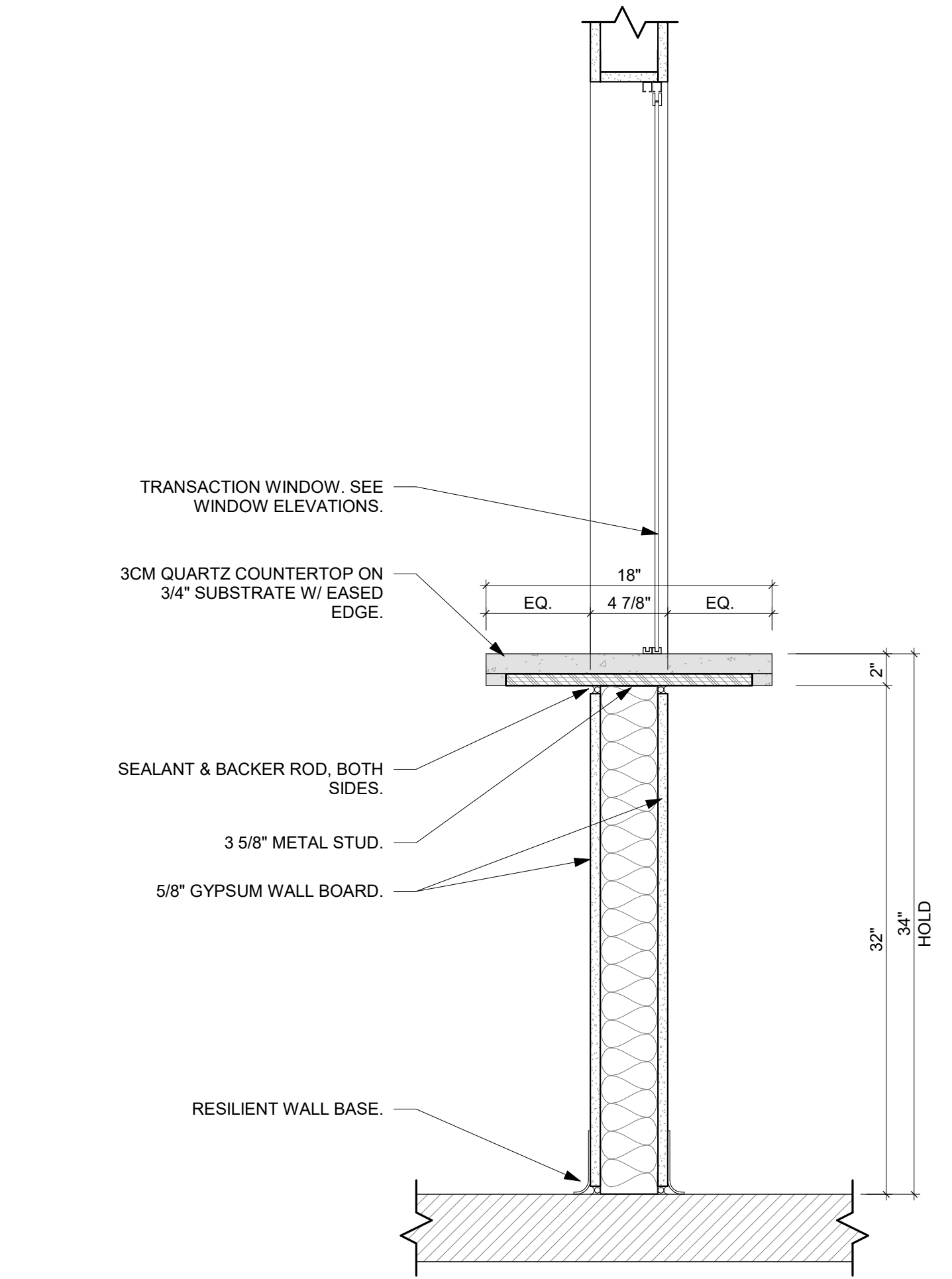
DATE
07.23.2026

DRAWING NUMBER

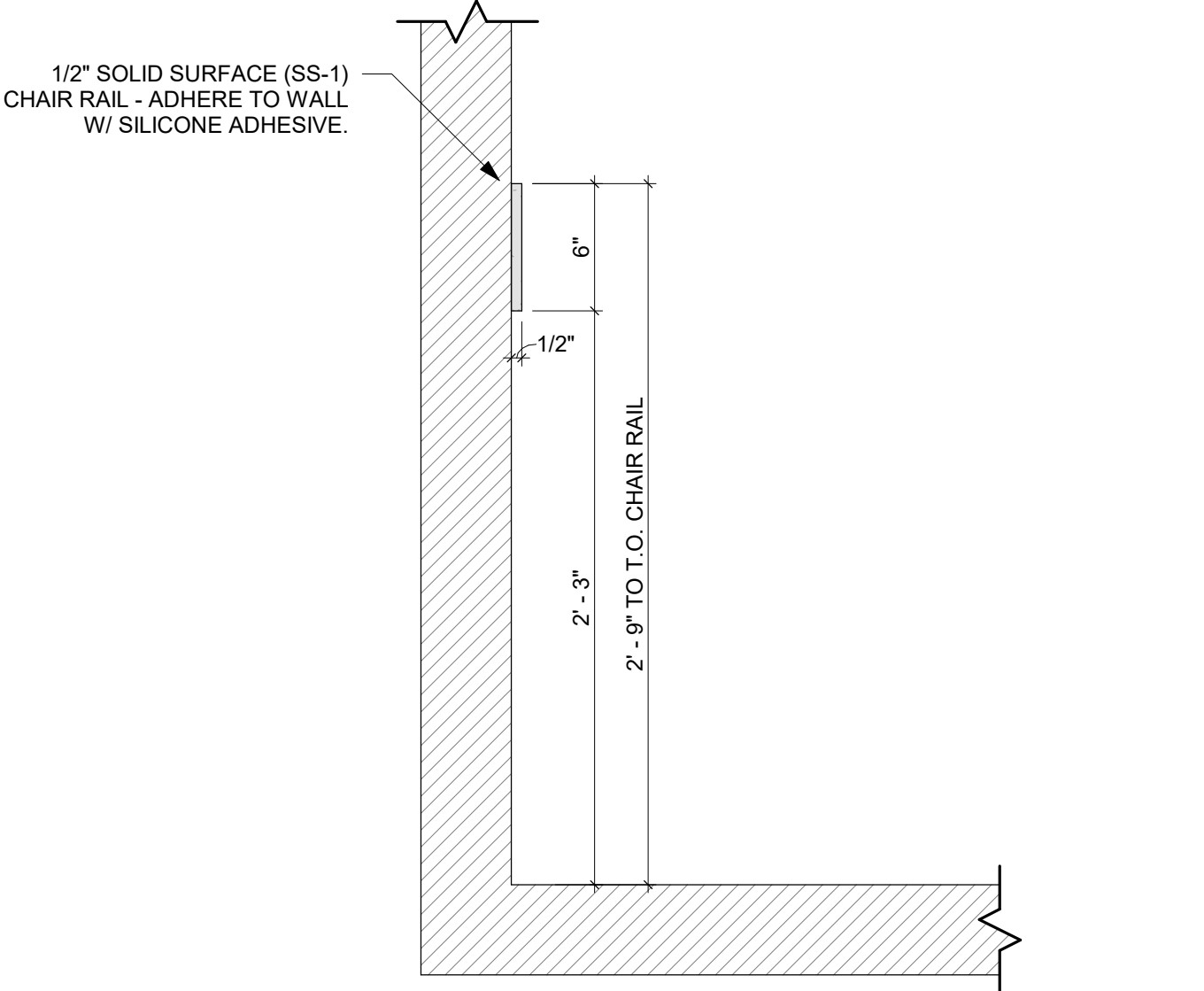
A451

PROJECT NUMBER
25030

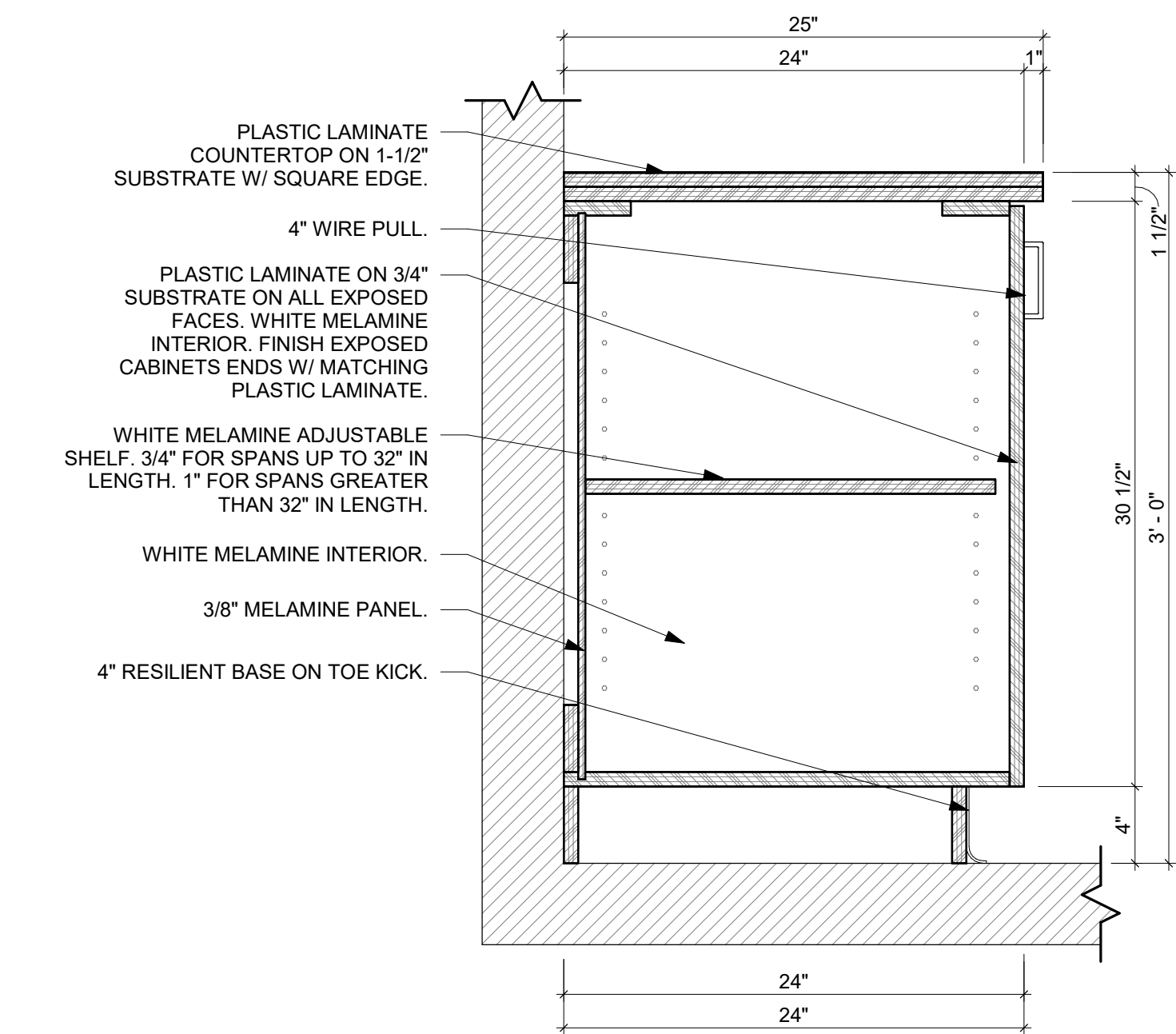
BID SET



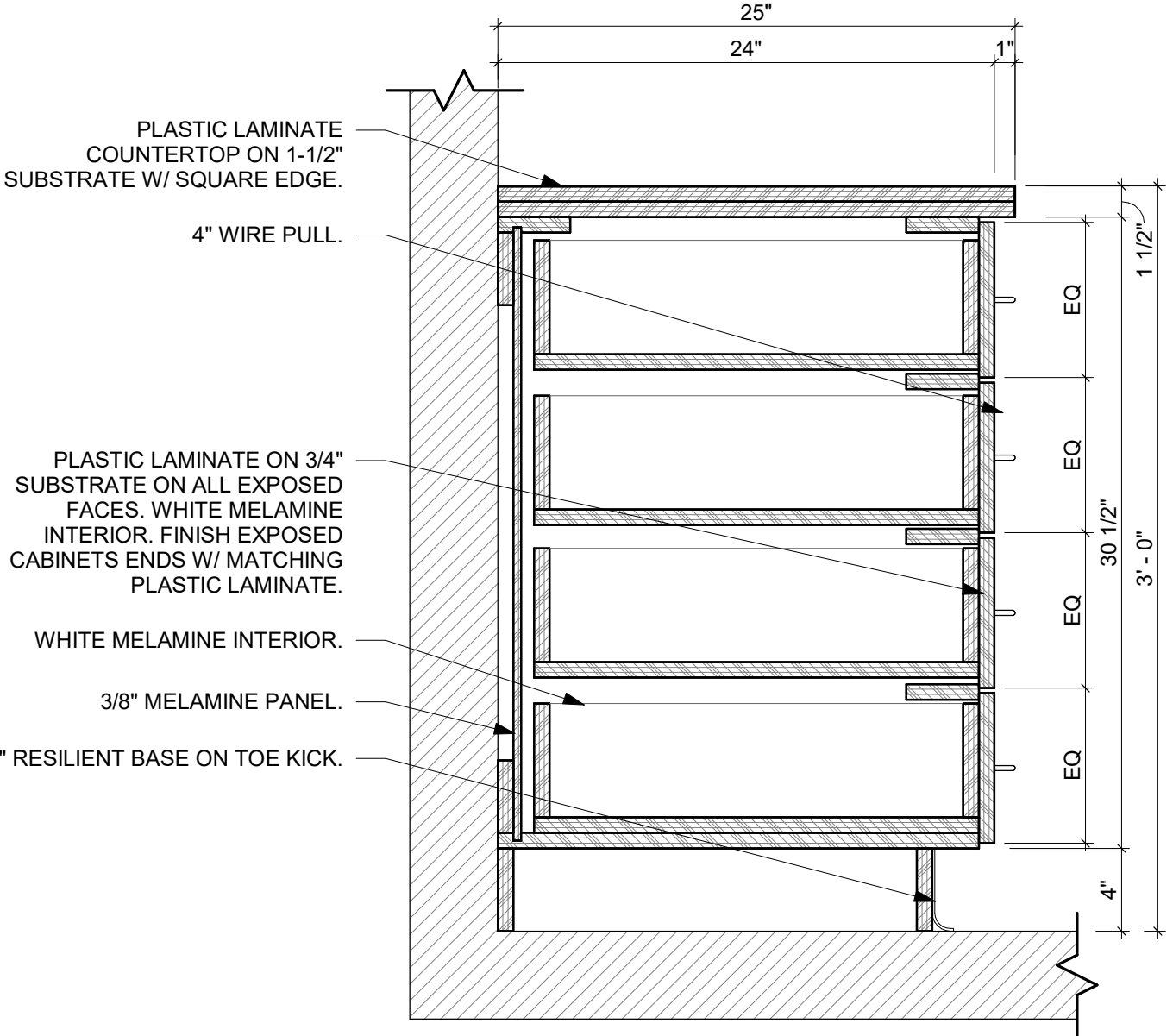
4 TRANSACTION TOP - QUARTZ (34")
1 1/2" = 1'-0"



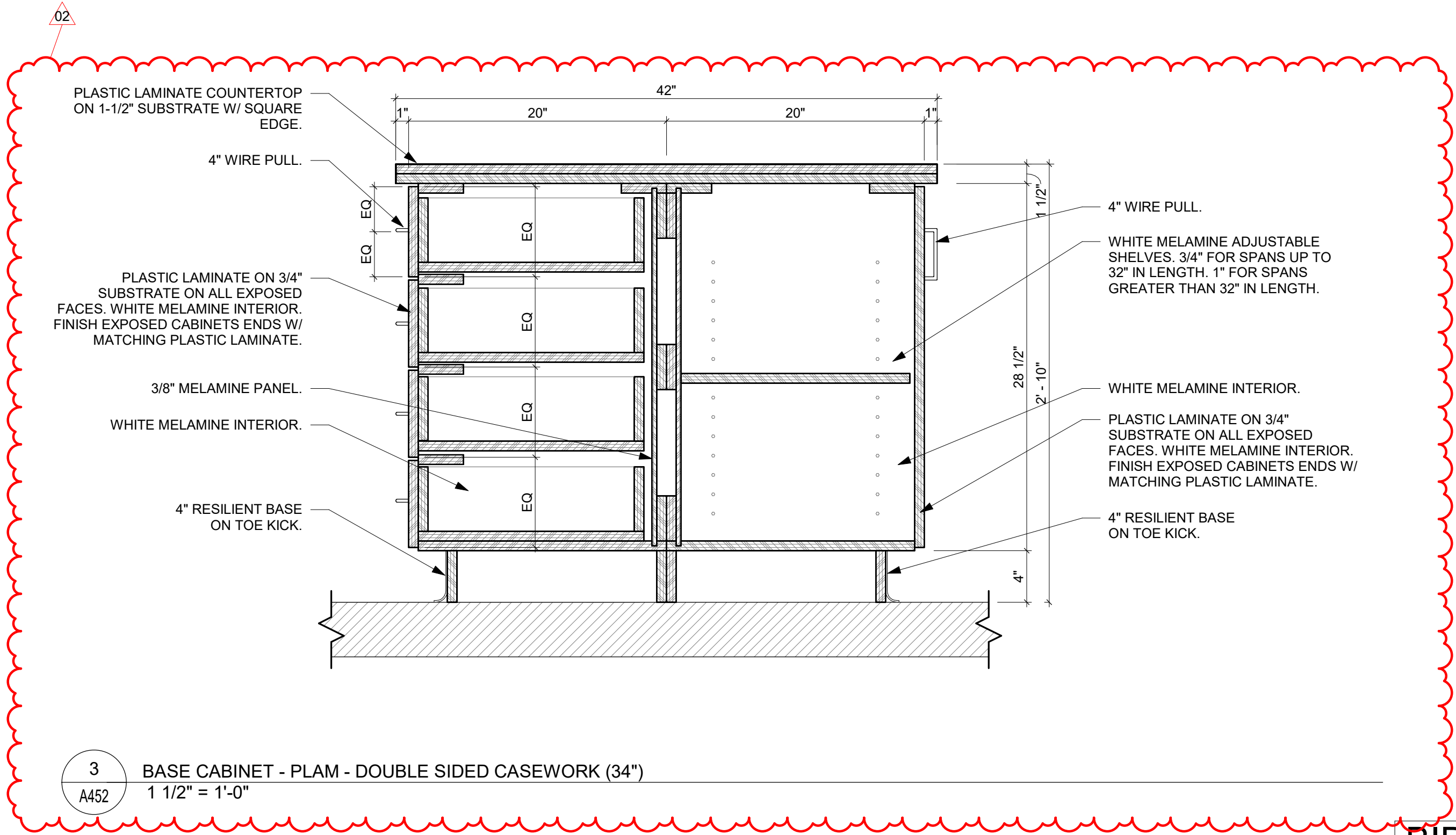
5 TYP. SOLID SURFACE CHAIR RAIL
1 1/2" = 1'-0"



1 BASE CABINET - PLAM - DOOR (36")
1 1/2" = 1'-0"



2 BASE CABINET - PLAM - 4 DRAWERS (36")
1 1/2" = 1'-0"



3 BASE CABINET - PLAM - DOUBLE SIDED CASEWORK (34")
1 1/2" = 1'-0"

ROOM FINISH SCHEDULE

NO.	NAME	FLOOR MATL.	BASE MATL.	NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL		CEILING		REMARKS
1000	VEST	WOM	RB	GB / EX GB	PT	EX GB / GL	PT / --	GL / GB	-- / PT	GL / GB	-- / PT	GB / EX GB	PT	
1001	BREAK ROOM	EX LVT	RB	EX GB	PT	EX GB / GL	PT / --	EX GB / GL	PT	EX GB	PT	ACP	--	
1002	IT	CPT	RB	EX GB	PT	EX GB	PT	EX GB / EX GL	PT / --	EX GB	PT	ACP	--	2
1002A	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
1002B	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
1002C	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
1002D	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB / EX GL	PT / --	EX GB	PT	ACP	--	
1002E	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB / EX GL	PT / --	EX GB	PT	ACP	--	
1002F	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
1002G	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
1002H	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
1002I	WAR ROOM	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
1002J	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
1002K	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
1002L	BREAK ROOM	LVT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
1003	HALL	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP / GB	-- / PT	
1004	EXEC SUITE	CPT	RB	GB	PT	GB	PT	GB	PT	EX GB	PT	ACP	--	
1004A	SENIOR OFFICE	CPT	RB	GB	PT	GB	PT	EX GB / EX GL	PT / --	GB	PT	ACP	--	
1004B	VP OFFICE	CPT	RB	GB	PT	GB	PT	EX GB	PT	EX GB / EX GL	PT / --	ACP	--	
1004C	EXEC OFFICE	CPT	RB	GB	PT	GB	PT	GB	PT	EX GB / EX GL	PT / --	ACP	--	
1004D	EXEC OFFICE	CPT	RB	GB	PT	GB	PT	GB	PT	GB	PT	ACP	--	
1009	RR	PCT	PCT	GB	PCT / EPT	GB	PCT / EPT	EX GB	PCT / EPT	EX GB	PCT / EPT	ACP	--	
1011	RR	PCT	PCT	EX GB	PCT / EPT	GB	PCT / EPT	GB	PCT / EPT	EX GB	PCT / EPT	ACP	--	
1017	HALL	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	GB / EX GB	PT	ACP / GB	-- / PT	
1031	HALL	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
2000	VEST.	WOM	RB	EX GL	--	EX GL	--	EX GB / EX GL	PT / --	EX FC	PT	EX	--	
2001	LOBBY	LVT	RB	EX GB	PT	EX GB / GL	PT / --	EX GB	PT	EX FC / FC	PT	ACP / EX GB	-- / PT	
2001B	HALL	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
2003	HALL	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP / EX GB	-- / PT	
2017	HALL	CPT	RB	--	--	EX GB	PT	--	--	EX GB	PT	ACP	--	
2062	BREAK ROOM	EX LVT	RB	EX GB	PT	EX GB	PT	GB	PT	EX GB	PT	ACP / EX GB	-- / PT	
2064	LOUNGE	EX LVT	RB	GB	PT	EX GB / EX GL	PT / --	EX GB / EX GL	PT / --	EX GB	PT	ACP	--	
2066	COLLABORATION	CPT	RB	GB	PT	GB	PT	GB / EX GB	PT	GB	PT	ACP / GB	-- / PT	2
2068A	CLASSROOM 1A	CPT	RB	GB / EX GB	PT	EX GB	PT	EX GB / EX GL	PT / --	GB	PT	ACP	--	2
2068B	CLASSROOM 1B	CPT	RB	GB / EX GB	PT	GB	PT	EX GB / EX GL	PT / --	GB	PT	ACP	--	2
2070	CLASSROOM 2	CPT	RB	GB	PT	GB	PT	EX GB / EX GL	PT / --	EX GB / EX GL	PT / --	ACP	--	2
2070A	STOR.	CPT	RB	GB	PT	GB	PT	GB	PT	GB	PT	OTS	--	
2071	CORRIDOR	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	--	--	ACP	--	
2072	COLLAB.	CPT	RB	--	--	GB	PT	GB	PT	EX GB / EX GL	PT / --	ACP	--	
2072A	CONFERENCE	CPT	RB	EX GB	PT	GB	PT	GL / GB	-- / PT	GB	PT	ACP	--	
2072B	OFFICE	CPT	RB	EX GB	PT	GB	PT	GB	PT	GB	PT	ACP	--	
2072C	OFFICE	CPT	RB	EX GB	PT	GB	PT	GB	PT	GB	PT	ACP	--	
2072D	OFFICE	CPT	RB	EX GB	PT	GB	PT	GB	PT	GB	PT	ACP	--	
2072E	OFFICE	CPT	RB	EX GB	PT	GB	PT	GB	PT	GB	PT	ACP	--	
2072F	OFFICE	CPT	RB	GB / EX GB	PT	EX GB	PT	GB	PT	GB	PT	ACP	--	
2072G	OFFICE	CPT	RB	GB	PT	GB	PT	GB	PT	GB	PT	ACP	--	
2072H	OFFICE	CPT	RB	GB	PT	GB	PT	GB	PT	GB	PT	ACP	--	
2072I	OFFICE	CPT	RB	GB	PT	GB	PT	GB	PT	GB	PT	ACP	--	
2072J	OFFICE	CPT	RB	GB	PT	GB	PT	GB	PT	GB	PT	ACP	--	
2072K	STORAGE	CPT	RB	GB	PT	GB	PT	GB	PT	GB	PT	OTS	--	
2073	CORRIDOR	CPT	RB	GB	PT	GB	PT	GB	PT	GB	PT	ACP	--	
2074	COLLAB.	CPT	RB	EX GB	PT	--	--	--	--	EX GB	PT	ACP	--	
2075	SERVICE / WAITING	CPT	RB	EX GB	PT	--	--	EX GB	PT	GB	PT	ACP / GB	-- / PT	2
2075A	RECEPTION	CPT	RB	EX GB	PT	GB	PT	EX GB	PT	--	--	ACP	--	2
2076	OPEN OFFICE	CPT	RB	EX GB	PT	--	--	EX GB	PT	EX GB	PT	ACP	--	2
2076A	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
2076B	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
2076C	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
2076D	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
2076E	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
2076F	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
2076G	MEETING	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
2077	TELECOM	EX SC	EX RB	EX GB	--	EX GB	--	EX GB	--	EX GB	--	OTS	--	
2078	TRAINING	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP / EX GB	-- / PT	
2079	STOR.	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
2079A	ELEC.	EX SC	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	OTS	--	
2080	RECEPTION / WAITING	CPT	RB	EX GB	PT	EX GB	PT	--	--	--	--	ACP	--	2
2080A	OPEN OFFICE	CPT	RB	EX GB	PT	--	--	--	--	EX GB	PT	ACP	--	2
2080B	COLLAB.	CPT	RB	--	--	EX GB	PT	EX GB	PT	--	--	ACP	--	2
2081	KICK STOR.	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
2082	BOARDROOM	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP / EX GB	-- / PT	
2083	HALL	CPT	RB	--	--	EX GB	PT	EX GB	PT	--	--	ACP	--	
2083A	HALL	CPT	RB	EX GB	PT	EX GB	PT	--	--	EX GB	PT	ACP	--	
2083B	HALL	CPT	RB	--	--	--	GB / EX GB	PT	--	--	--	ACP	--	
2084	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB / EX GL	PT / --	ACP	--	
2085	COFFEE	LVT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
2085A	CLOSET	LVT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
2086	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB / EX GL	PT / --	ACP	--	
2087	COPY	CPT	RB	GB / EX GB	PT	EX GB	PT	GB / EX GB	PT	GB / EX GB	PT	ACP	--	
2088	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB / EX GL	PT / --	ACP	--	
2090	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB / EX GL	PT / --	ACP	--	
2092	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB / EX GL	PT / --	ACP	--	
2094	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB / EX GL	PT / --	ACP	--	
2096	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB / EX GL	PT / --	ACP	--	
2098	OFFICE	CPT	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB / EX GL	PT / --	ACP	--	
2100	MEETING	CPT	RB	EX GB / EX GL	PT / --	EX GB	PT	EX GB	PT	EX GB / EX GL	PT / --	ACP	--	
2102	OFFICE	CPT	RB	EX GB / EX GL	PT / --	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
2104	OFFICE	CPT	RB	EX GB / EX GL	PT / --	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
2106	OFFICE	CPT	RB	EX GB / EX GL	PT / --	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
2108	OFFICE	CPT	RB	EX GB / EX GL	PT / --	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
2110	MEETING	CPT	RB	EX GB / EX GL	PT / --	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	
ST-01	STAIR 01	WOM / CPT / EX	RB	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	1
ST-02	STAIR 02	WOM / CPT / EX	BR	EX GB	PT	EX GB	PT	EX GB	PT	EX GB	PT	ACP	--	1
ST-03	STAIR 03	EX	--	--	--	--	--	--	--	--	--	--	-- / PT	1, 3

ROOM FINISH SCHEDULE ABBREVIATIONS

ACP	ACOUSTIC CEILING PANEL
CPT	CARPET
EPT	EPOXY PAINT
EX	EXISTING
GB	GYPSUM BOARD
LVT	LUXURY VINYL TILE
OTS	OPEN TO STRUCTURE
PCT	PORCELAIN CERAMIC TILE
PT	PAINT
RB	RESILIENT BASE
WOM	WALK-OFF MAT

ROOM FINISH SCHEDULE REMARKS

- EXISTING STAIR TREAD, RISER, & NOSING FINISH - MAINTAIN & PROTECT. LANDING TO RECEIVE NEW FLOORING & BASE AS IDENTIFIED.
- SEE PLAN FOR ACCENT CARPET LOCATIONS.
- PAINT SOFFIT & DRYWALL CONSTRUCTION OF SKYLIGHT.

WALL FINISHES:

PAINT:

EPT-1	MANUFACTURER: SHERWIN WILLIAMS COLOR: PASSIVE FINISH: EPOXY APPLICATION: RESTROOM WALLS
PT-1	MANUFACTURER: SHERWIN WILLIAMS COLOR: PASSIVE FINISH: EGGSHELL APPLICATION: FIELD COLOR, TYP. UNLESS NOTED OTHERWISE.
PT-2	MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD FINISH: FLAT APPLICATION: CEILING COLOR, TYP. UNLESS NOTED OTHERWISE.
PT-3	MANUFACTURER: SHERWIN WILLIAMS COLOR: GRIZZLE GRAY FINISH: SEMI-GLOSS APPLICATION: HOLLOW METAL DOORS & FRAMES
PT-4	MANUFACTURER: SHERWIN WILLIAMS COLOR: SKY FALL FINISH: EGGSHELL APPLICATION: ACCENT COLOR AS INDICATED
PT-5	MANUFACTURER: SHERWIN WILLIAMS COLOR: DYNAMIC BLUE FINISH: EGGSHELL APPLICATION: ACCENT COLOR AS INDICATED
PT-6	MANUFACTURER: SHERWIN WILLIAMS COLOR: HYPER BLUE FINISH: EGGSHELL APPLICATION: ACCENT COLOR AS INDICATED

PORCELAIN CERAMIC TILE

PCT-2	MANUFACTURER: SHAW CONTRACT COLLECTION: PORCELAIN STYLE: STELLAR CT82K COLOR: NEBULA SIZE: 12" X 24" INSTALLATION: TBD APPLICATION: FLOORING & 6" WALL BASE AS INDICATED GROUT: TBD
-------	--

CASEWORK FINISHES:

PLASTIC LAMINATE

PLAM-1	MANUFACTURER: FORMICA PATTERN: GRAY FABRIC FINISH: MATTE INSTALLATION: VERTICAL APPLICATION: CASEWORK, SEE INTERIOR ELEVATIONS
PLAM-2	MANUFACTURER: FORMICA PATTERN: PALOMA POLAR FINISH: MATTE INSTALLATION: HORIZONTAL APPLICATION: COUNTERTOPS, SEE INTERIOR ELEVATIONS

SOLID SURFACE

SS-1	MANUFACTURER: CORIAN PATTERN: DESIGNER WHITE PRICE GROUP: C HEIGHT: 6" APPLICATION: CHAIR RAIL AS INDICATED ON PLANS (SEE DETAIL 5/A452)
------	---

QUARTZ

QZ-1	MANUFACTURER: CORIAN PRODUCT: CLOUD WHITE THICKNESS: 3CM APPLICATION: COUNTERTOPS AS NOTED ON PLANS
------	--

DOOR FINISHES:

WOOD

WD	SPECIES: MATCH EXISTING DOORS FINISH: MATCH EXISTING DOORS APPLICATION: NEW WOOD DOORS
----	--

MISCELLANEOUS FINISHES:

HANGING PANELS (ACOUSTICAL PANELS):

AP-1:	MANUFACTURER: FILZFELT STYLE: FLIGHT HANGING PANEL SIZE: TBD COLOR: ENZIAN APPLICATION: DIVIDER PANELS
-------	--

CORNER GUARDS:

CG-1	STYLE: 16 GAUGE TYPE 304 STAINLESS STEEL INSTALL: BRUSHED ADHESIVE MOUNTED SIZE: 1-1/2" FLANGE HEIGHT: 96" A.F.F. APPLICATION: ALL EXPOSED OUTSIDE GYPSUM BOARD CORNERS
------	---

FIBER CEMENT SIDING

FC	SEE SPECIFICATIONS
----	--------------------

SEALED CONCRETE

SC (EXISTING)	
---------------	--

FLOORING FINISHES:

CARPET

CPT-1	MANUFACTURER: INTERFACE COLLECTION: OPEN AIR STYLE: 408 COLOR: NICKEL SIZE: 25cm x 1m INSTALLATION: TBD APPLICATION: FIELD CARPET AS SHOWN
-------	--

CPT-2

CPT-2	MANUFACTURER: INTERFACE COLLECTION: DRIFTWOOD STYLE: DRIFTWOOD COLOR: LINDEN SIZE: 25cm x 1m INSTALLATION: TBD APPLICATION: ACCENT AS SHOW
-------	--

GENERAL STRUCTURAL NOTES

1. Design Code: International Building Code, 2024 Edition (IBC–2024), Building Risk Category "II".
2. Design Loads:

Roof Live Loads:

Nominal Ground Snow Load (Pg)..... 51 psf

Winter Wind Parameter (W_z) 0.55

Snow Exposure Factor (Ce) 1.0

Thermal Factor (Ct) 1.12

Nominal Flat Roof Snow Load (P_f)..... 40 psf + Snow Drift

Service Flat Roof Snow Load (P_{f(s)})... 28 psf + Snow Drift

Floor Live Loads:

Second Level Corridors 80 psf

Classrooms 50 psf

Wind:

Nominal Wind Speed 109 MPH (3–Second Gust)

Risk Category II

Wind Exposure "C"

Internal Pressure Coefficient ... +/-0.18

Component and Cladding Design Pressures (asd):

Typical 20 psf inward

21 psf outward

Corners 20 psf inward

25 psf outward

Seismic:

Seismic Use Occupancy II

Importance Factor (I) 1.00

Mapped Spectral Response Accelerations:

S 0.100

S_s 0.064

S_{1s} 0.150

S_{m1} 0.140

Site Class: D

Spectral Response Coefficients:

S_{DS} 0.100

S₁ 0.093

Seismic Design Category: B

Basic Seismic–Force–Resisting System:

Steel systems not specifically detailed for seismic resistance

Seismic Response Coefficient (Cs): 0.0333

Response Modification Factor (R): 3.00

Analysis Procedure: Equivalent Lateral Force

Design Base Shear = 0.0233W (asd)

3. Special Inspection:

The following types of work require special inspection.

– Field welded structural steel framing connections

All special inspections shall be performed by qualified independent testing/inspection agencies specializing in the field of inspection services provided.

Special inspection agencies shall make written records indicating: Phase of work being inspected, what portion of the phase of work is being inspected, extent of inspected work performed during inspection visit, indicate work inspected was performed in conformance with the Construction Documents or corrective measures taken as a result of the inspections. Written progress reports of each category of special inspection shall be provided to the Architect/Engineer and Owner as construction progresses.

Discrepancies found during special inspection services shall be brought to the immediate attention of the Contractor for correction. If discrepancies are not corrected, the discrepancies shall be brought to the attention of the Architect/Engineer prior to the completion of that phase of work.

4. Refer to Architectural Floor Plans for dimensional location of non–bearing partition walls, door and window locations, and dimensions not shown on the structural plans.

5. Unless otherwise noted, elevations are to the TOP of beams, footings, slabs, etc.

6. Building drainage, insulation, flashings, vapor/moisture protection, and fireproofing are not shown on the structural plans. Refer to the Architectural/Mechanical drawings and specifications for requirements.

7. All sections, details and notes shown on the structural drawings are intended to be typical and shall apply to similar situations unless otherwise shown.

8. Information pertaining to existing conditions is based on previous building and building addition construction documents and/or site surveys of existing building(s) provided by others. Contractor is responsible for field verification of all existing conditions (dimensions, elevations, construction materials, etc...) imperative to the new construction prior to the start of material fabrication and construction. The Contractor shall report any discrepancies between these documents and verified field conditions to the Architect/Engineer for review.

9. The structural integrity of the building shown on these plans is dependent upon completion according to the Contract Documents. It is the Contractor's responsibility to furnish all temporary bracing and/or support that may be required as a result of construction methods and sequences.

STRUCTURAL STEEL NOTES

1. Structural Steel is to be fabricated and erected in accordance with AISC "Specifications for Structural Steel Buildings", latest edition.
2. Material:

Wide flange shapes ASTM A992

Channels, Angles and Plates ASTM A36

Structural Tubing ASTM A500, Grade C

Structural Pipes ASTM A500, Grade C
3. All bolts for structural steel framing shall be high–strength (H.S.) bolts conform to ASTM A325 with ASTM F436 washers and ASTM A563 heavy–hex nuts. Bolts shall be 3/4" diameter, unless otherwise noted.
4. Anchor bolts/anchor rods shall be ASTM F1554, grade 36 with ASTM F844 washers and ASTM A563 heavy–hex nuts.
5. Bolts indicated as machine bolts (M.B.) shall conform to ASTM A307 with ASTM F844 washers and A563 heavy–hex nuts.
6. All welding shall conform to the latest A.W.S. Specifications. Use E70XX electrodes.
7. Connections not detailed on drawings shall be designed by fabricator and be subject to Architects/Engineers review.
8. Unless connections are specifically shown, each beam connection shall be designed to support one–half of total uniform load capacity as tabulated in AISC tables for the given shape and span or 50 percent of the shear strength of the member whichever is greater.
9. If structural steel details (field welds vs. shop welds, etc.) shown on design drawings are not compatible with contractors erection procedures, detailer shall submit proposed modifications for Architects/Engineers review.
10. Structural steel framing shall be inspected at the start of construction and periodically throughout this phase of work. Inspections shall consist of visually inspection of field welds for size, length, spacing and quality of weld, bolted connections for all bolt size, all bolt–holes utilized and verifying that connections specifically indicated to be "fully tightened" on the drawings has been provided.

GENERAL FOUNDATION NOTES

1. Building foundations are to bear on suitable native soils or on structural fill material extending to suitable native soils to provide a minimum net allowable foundation bearing pressure of 1,500 psf. This minimum bearing pressure is to be verified by the Owner's hired Geotechnical firm (Geotech) prior to placing concrete.
2. Any fill material that may be required to bring the subgrade to bearing elevation is to be tested and approved by the Geotech prior to placement. Fill material shall be placed in loose lifts not to exceed 4–inches in thickness.
3. All fill material shall be compacted as follows:

Below Foundations:

Granular or cohesive material compacted to at least 98% of its maximum Standard Proctor Dry Density (ASTM D–698).

Above Foundations, Below Floor Slabs–on–Grade:

Granular or Cohesive Material compacted to at least 95% of its maximum Standard Proctor Dry Density (ASTM D–698).
4. Overexcavation for compacted structural fill placement below footings shall extend laterally beyond all edges of the footings at least 8–inches per foot of overexcavation depth below the footing base elevation.
5. As a minimum, excavations are to be performed in accordance with OSHA 29 CFR, Part 1926, Subpart P, "Excavations" and its appendices, and in accordance with any applicable local and/or state regulations.
6. Excavations shall be kept free of water and loose soil prior to concrete placement. Any unsuitable material is to be removed and replaced with compacted structural fill material.
7. Locate, verify and mark the location of underground utilities prior to excavation for foundations.

CONCRETE NOTES

1. Except where modified by these Plans and Specifications, all concrete work shall conform to the requirements of ACI 301–20, "Specifications for Structural Concrete for Buildings and ACI 318–19, "Building Code Requirements for Reinforced Concrete".
2. Reinforcing is to be detailed in accordance with ACI 315–latest, "Manual of Standard Practice for Detailing Reinforced Concrete Structures".
3. Minimum Concrete 28 Day Compressive Strengths:

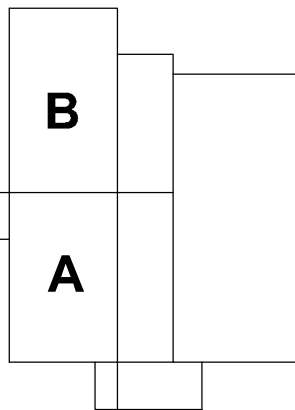
Footings 3500 PSI

Foundation Walls/Piers 4500 PSI
4. Concrete exposed to freeze/thaw cycles to contain 5–7 percent air–entrainment.
5. Concrete reinforcing steel to be ASTM A615, Grade 60.
6. Maintain the minimum concrete coverage for reinforcing as indicated, unless noted otherwise on the drawings.

Concrete deposited directly against earth 3 inches

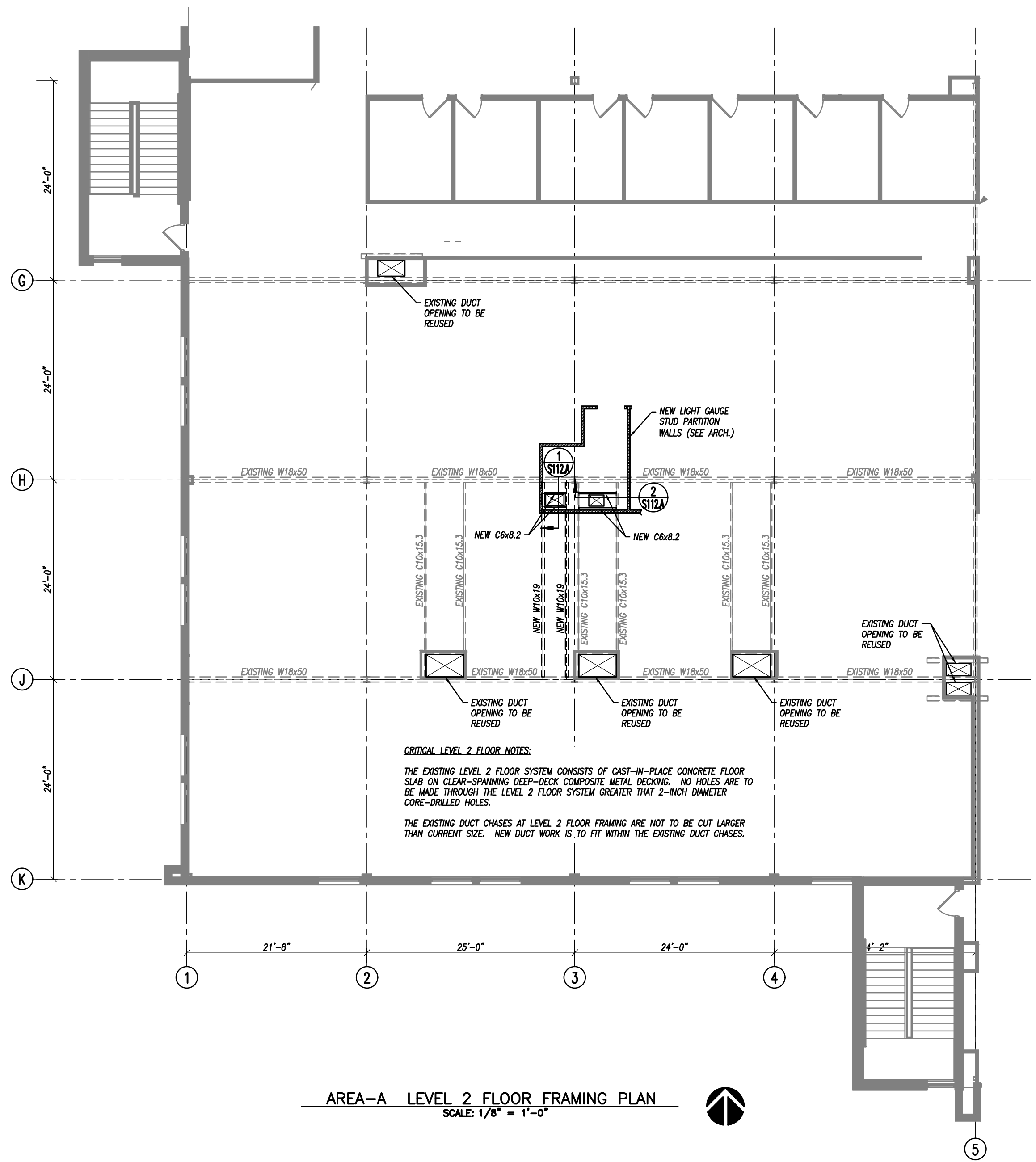
Concrete Exposed to earth or weather: #6 and larger 2 inches

#5 and smaller 1 1/2 inches
7. Shift reinforcing to clear anchor bolts and embedded items, cutting of reinforcing bars is not permitted.
8. Where doweling into new or existing concrete is indicated to be adhesive bonded, use "HILTI" 150 MAX–SD adhesive or equivalent. Hole size, hole cleaning– preparation and adhesive installation shall be in accordance with manufacturer's written instructions.
9. No pipes, conduits or ducts are to be placed in concrete columns, piers, joists or beams without review and approval from the Architect and Structural Engineer prior to placement.
10. Hot weather concrete operations shall be in accordance with ACI 305. Cold weather concrete operations shall be in accordance with ACI 306.

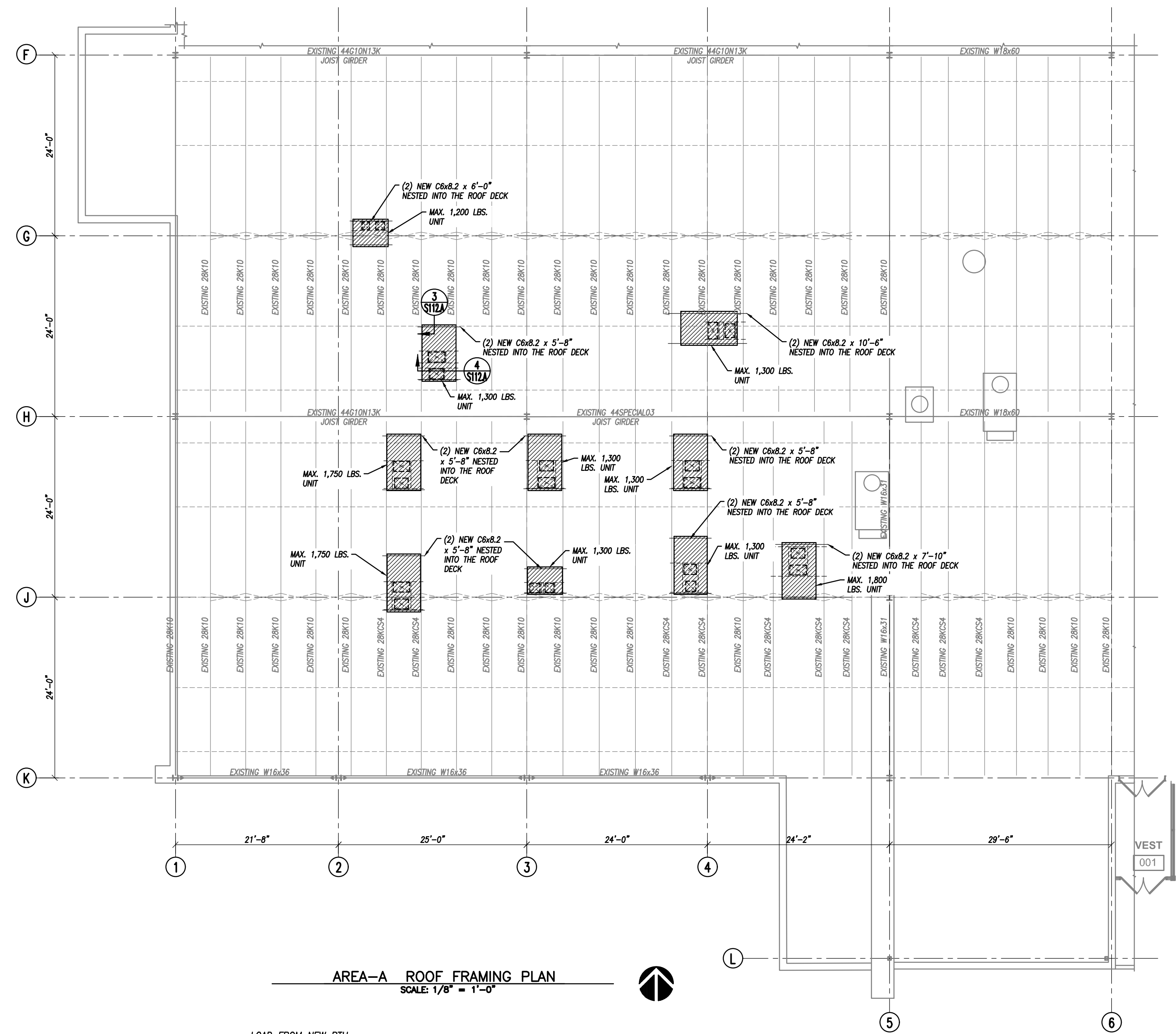


KEY PLAN

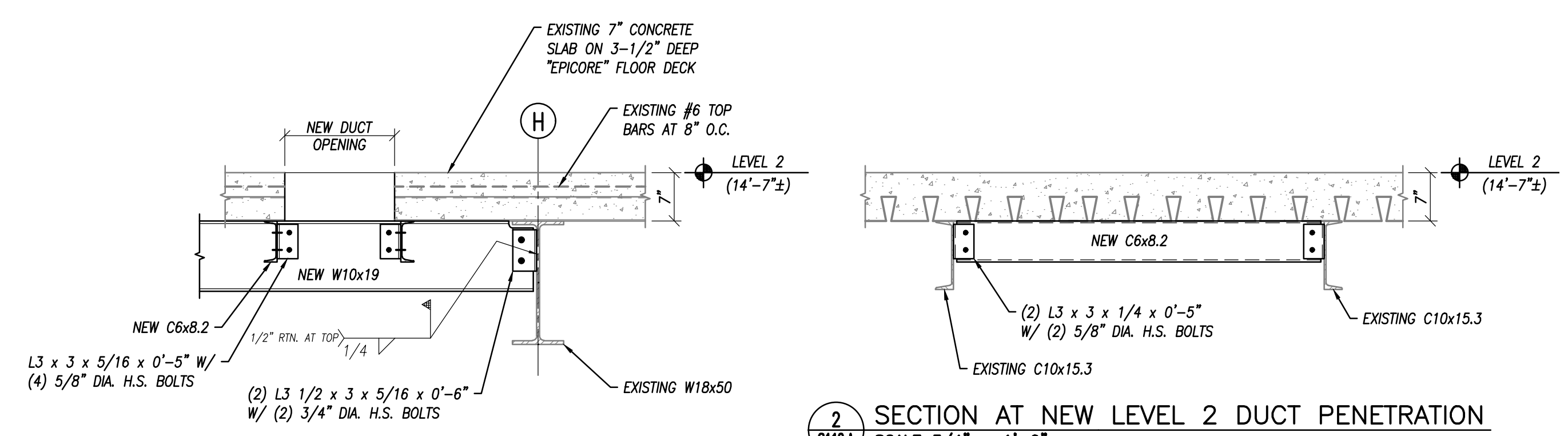
BID SET



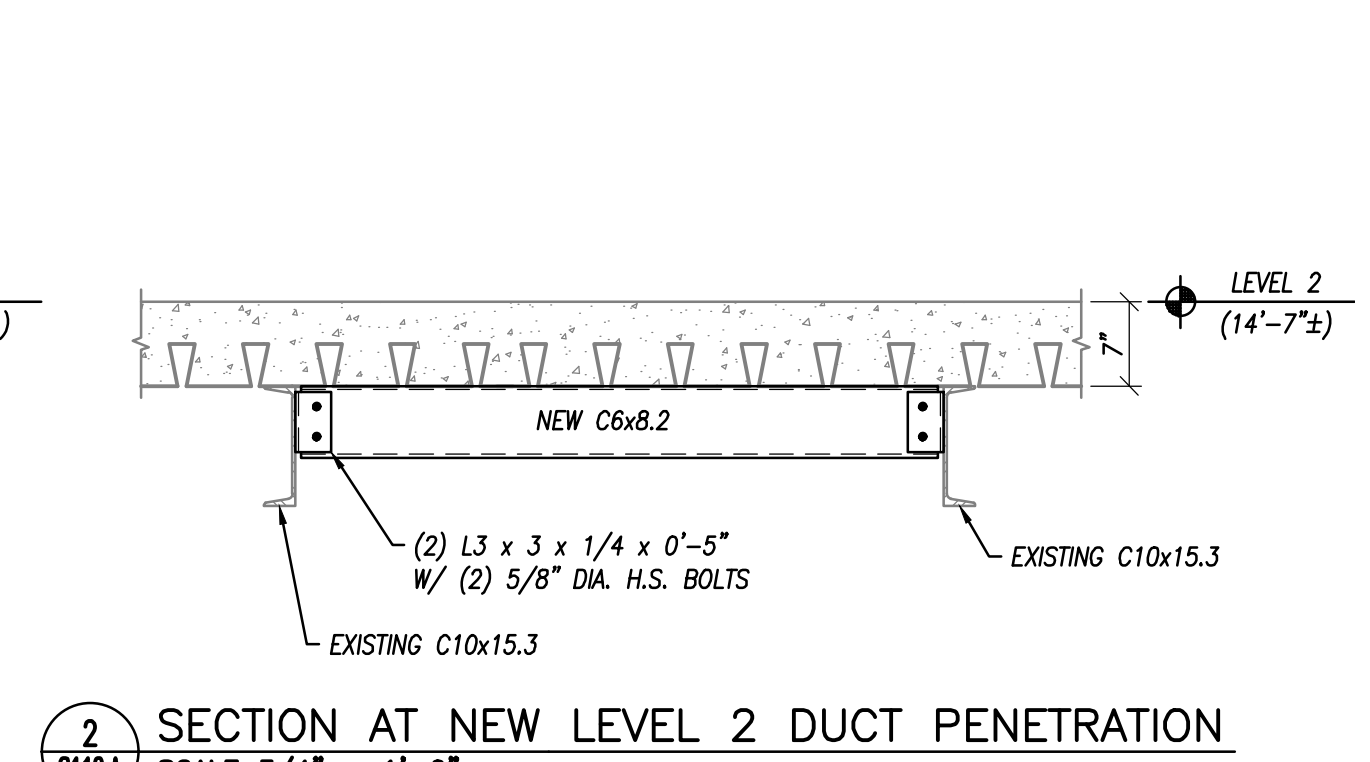
AREA-A LEVEL 2 FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"



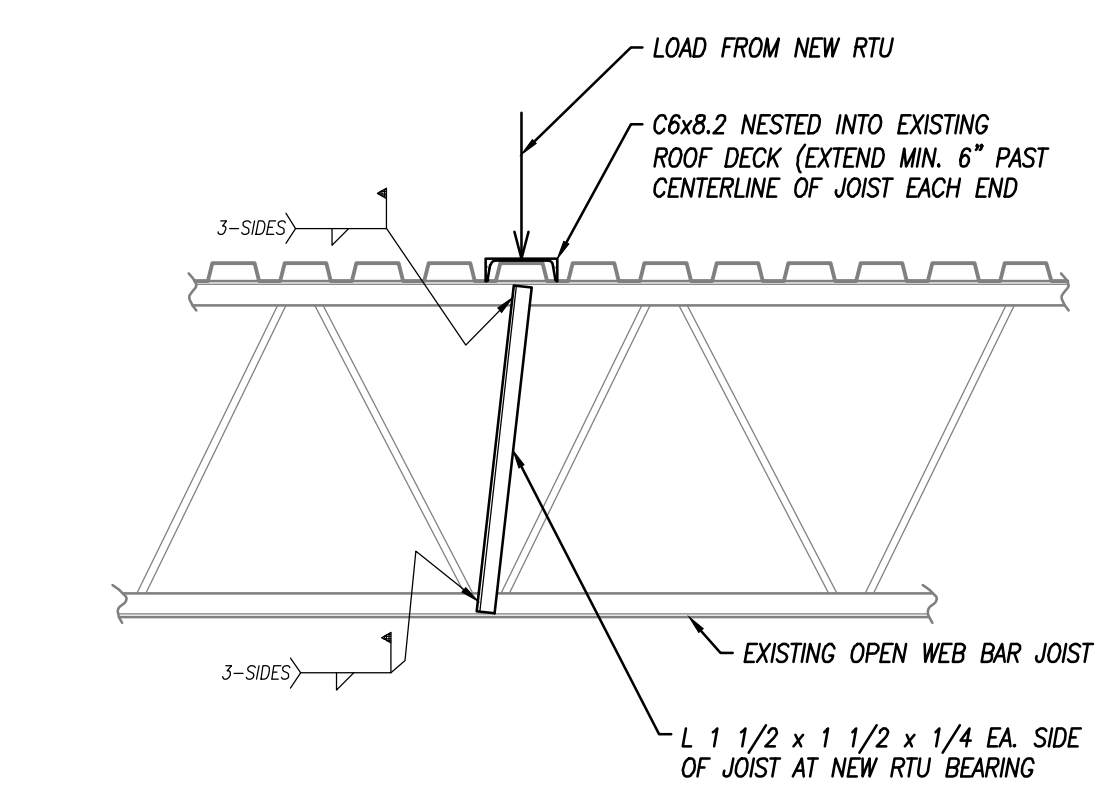
AREA-A ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"



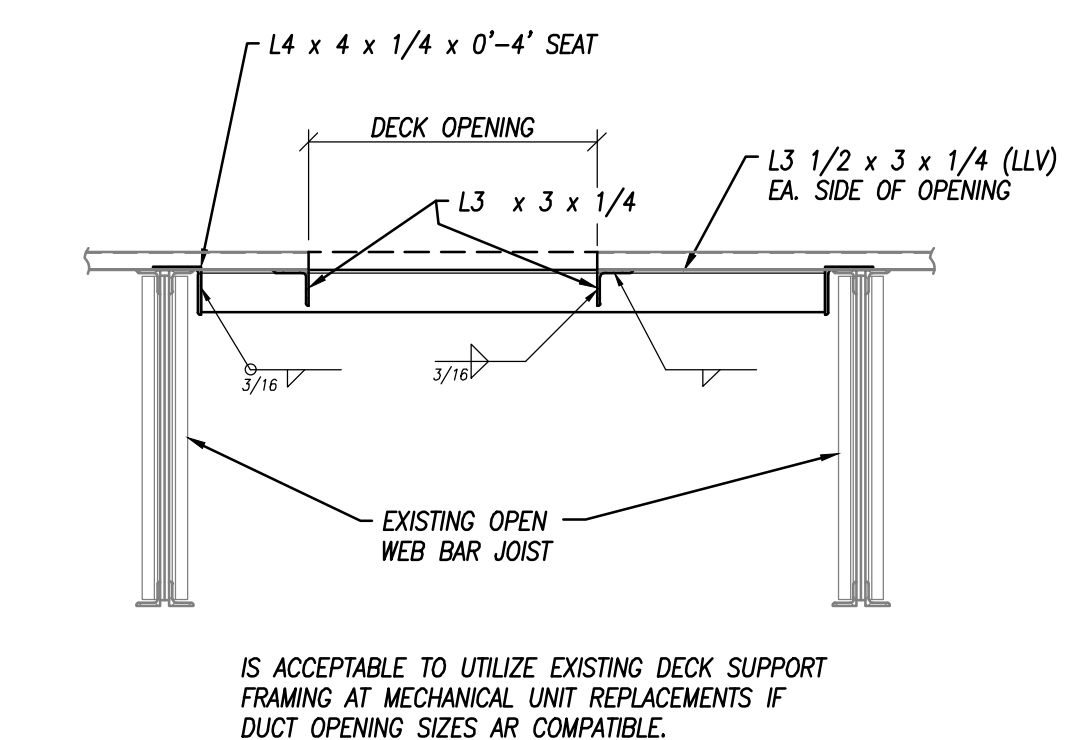
1 SECTION AT NEW LEVEL 2 DUCT PENETRATION
SCALE: 3/4" = 1'-0"



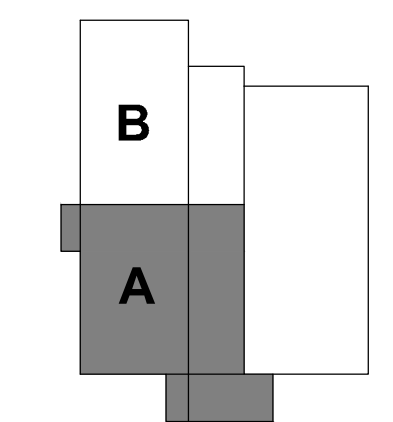
2 SECTION AT NEW LEVEL 2 DUCT PENETRATION
SCALE: 3/4" = 1'-0"



3 DETAIL AT NEW RTU BEARING
SCALE: 3/4" = 1'-0"



4 DETAIL AT ROOF DECK PENETRATION
SCALE: 3/4" = 1'-0"



KEY PLAN

BID SET

CSI Form 1.5C

SUBSTITUTION REQUEST (During the Bid Period)

Project: Kirkwood Community College East Hall Substitution Request Number: 2
From: Golden Valley Supply
To: _____ Date: 7/29/26
A/E Project Number: 25030
Re: _____ Contract For: _____
Specification Title: Acoustical Panel Ceilings Description: Armstrong Optima #3250PB
Section: 095113 Page: 1 Article/Paragraph: 2.2.A.1

Proposed Substitution: USG Mars High-NRC #88138 (90 NRC)
Manufacturer: _____ Address: _____ Phone: _____
Trade Name: _____ Model No.: _____

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

The Undersigned certifies:

- Proposed substitution has been fully investigated and determined to be equal or superior in all respects to specified product.
- Same warranty will be furnished for proposed substitution as for specified product.
- Same maintenance service and source of replacement parts, as applicable, is available.
- Proposed substitution will have no adverse effect on other trades and will not affect or delay progress schedule.
- Proposed substitution does not affect dimensions and functional clearances.
- Payment will be made for changes to building design, including A/E design, detailing, and construction costs caused by the substitution.

Submitted by: Tara Garbe
Signed by: Tara Garbe
Firm: Golden Valley Supply
Address: 1000 Zane Ave N
Minneapolis, MN 55422
Telephone: 763-544-8907

A/E's REVIEW AND ACTION

- ☐ Substitution approved - Make submittals in accordance with Specification Section 01 25 00 Substitution Procedures.
☐ Substitution approved as noted - Make submittals in accordance with Specification Section 01 25 00 Substitution Procedures.
☐ Substitution rejected - Use specified materials.
☐ Substitution Request received too late - Use specified materials.

Signed by: _____

Date: _____

Supporting Data Attached: ☐ Drawings ☒ Product Data ☐ Samples ☐ Tests ☐ Reports ☐ _____

USG Mars High NRC - Mars 90

A more balanced acoustic performance, with better sustainability than Fiberglass substrate ceiling tile.

Save money and improve sound control with USG Mars™ 90.

USG Mars™ High NRC Acoustical Panels, provide sound absorption values up to NRC 0.90, along with the smooth, white, bright aesthetic that appeals to designers.

Designers now have an affordable alternative to fiberglass that enhances acoustical performance through balanced acoustics (NRC & CAC).

Smooth-faced fiberglass ceilings offer equivalent sound absorption (NRC) and light reflectance (LR), but most panels don't offer balanced room-to-room acoustical performance, including sound blocking (CAC). Fiberglass panels are also more expensive than mineral wool panels.

Advantages of USG Mars 90 vs. Fiberglass:

- More economical than fiberglass
- Easier to work with – no itch
- Better sound isolation (CAC)

USG Mars High NRC - Mars 90

A more balanced acoustic performance, with better sustainability than Fiberglass substrate ceiling tile.

		USG Mars™ 90	Armstrong Optima™	USG Halcyon™	USG Halcyon™ Eco
Product Information	Price	\$\$\$	\$\$\$\$	\$\$\$\$	\$\$\$\$
	Basemat	Mineral Fiber Plant Based Binders	Fiberglass	Fiberglass	Fiberglass Plant Based Binders
Physical Features	Thickness	1"	1"	1"	1"
	Size	2' x 2'	2' x 2'	2' x 2'	2' x 2'
Performance Features	LR	0.90	0.88	0.90	0.90
	CAC	30	N/A	20	20
	NRC	0.90	0.95	0.95	0.95
	Mold & Mildew Resistant	Yes	Yes	Yes	Yes
	ASTM E84 CAN/ULC S102	Class A	Class A	Class A	Class A
Sustainability Features	EcoBlueprint/ Sustain™	EcoBlueprint	NA	NA	EcoBlueprint
	Bio-based	Yes	No	No	Yes
	Recycled Content	67%	71%	40%	40%

*Source: Information obtained from ArmstrongCeilings.com - February 2020

1. All USG Mars™ High NRC Acoustical Panels with a "plant-based binder" label contain up to 65% plant-based material in the binder. For more information please refer to the USG Mars™ Acoustical Panels Health Product Declaration, available at www.usg.com.

USG Reverberation Time Study Results



Room Size: 50' x 45' x 10' (22,500 ft³)

Floor: Wood & Stone Tile

Walls: Drywall & Exterior Glass

Criteria: LEED v4

USG Ceiling	Meets LEED Criteria
7/8" Mars (NRC 0.80)	Yes
1" Mars (NRC 0.90)	Yes
1" Halcyon (NRC 0.95)	Yes

Notice

The information in this document is subject to change without notice. CGC Inc. or USG Corp. assumes no responsibility for any errors that may inadvertently appear in this document.

SC5429/rev. 2-21

© 2021 USG Corporation and/or its affiliates. All rights reserved. Printed in U.S.A.

Manufactured by USG Interiors, LLC
550 West Adams Street
Chicago, IL 60661

The trademarks USG, CGC, CELEBRATION, DONN, FINELINE, FIRECODE, QUICK-RELEASE, ZXLA, IT'S YOUR WORLD, BUILD IT., the USG/CGC logo, the design elements and colors, and related marks are trademarks of USG Corporation or its affiliates.

Safety First! Follow good safety/industrial hygiene practices during installation. Wear appropriate personal protective equipment. Read SDS and literature before specification and installation.



With sound blocking (CAC), higher LR and comparable sound absorption (NRC), USG Mars™ 90 is a perfect substitute to fiberglass ceiling panels.

CSI Form 1.5C

SUBSTITUTION REQUEST (During the Bid Period)

Project: Kirkwood Community College East Hall Substitution Request Number: 1
From: Golden Valley Supply
To: _____ Date: 7/29/26
A/E Project Number: 25030
Re: _____ Contract For: _____
Specification Title: Acoustical Panel Ceilings Description: Armstrong Optima #3250PB
Section: 095113 Page: 1 Article/Paragraph: 2.2.A.1

Proposed Substitution: USG Mars High-NRC #88285 (95 NRC)
Manufacturer: _____ Address: _____ Phone: _____
Trade Name: _____ Model No.: _____

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

The Undersigned certifies:

- Proposed substitution has been fully investigated and determined to be equal or superior in all respects to specified product.
- Same warranty will be furnished for proposed substitution as for specified product.
- Same maintenance service and source of replacement parts, as applicable, is available.
- Proposed substitution will have no adverse effect on other trades and will not affect or delay progress schedule.
- Proposed substitution does not affect dimensions and functional clearances.
- Payment will be made for changes to building design, including A/E design, detailing, and construction costs caused by the substitution.

Submitted by: Tara Garbe
Signed by: Tara Garbe
Firm: Golden Valley Supply
Address: 1000 Zane Ave N
Minneapolis, MN 55422
Telephone: 763-544-8907

A/E's REVIEW AND ACTION

- ☐ Substitution approved - Make submittals in accordance with Specification Section 01 25 00 Substitution Procedures.
☐ Substitution approved as noted - Make submittals in accordance with Specification Section 01 25 00 Substitution Procedures.
☐ Substitution rejected - Use specified materials.
☐ Substitution Request received too late - Use specified materials.

Signed by: _____

Date: _____

Supporting Data Attached: ☐ Drawings ☒ Product Data ☐ Samples ☐ Tests ☐ Reports ☐ _____

USG MARS™ HIGH-NRC/HIGH-CAC ACOUSTICAL PANELS

Items #88285 & #88138

CLIMAPLUS™ PERFORMANCE WITH PLANT-BASED BINDER⁷



USG Mars™ High-NRC Acoustical Panels with ClimaPlus™ Performance, and USG Donn® Brand Centricitee™ DXT™ Acoustical Suspension System
Lowell Justice Center in Lowell, MA,
Architect: Finegold Alexander Architects, Photo: ©Anton Grassi

TO ORDER SAMPLES, GO TO USG.COM OR CGCINC.COM

FEATURES AND BENEFITS

- Balanced acoustics with a wide range of options: NRC up to 0.95 and CAC up to 40.
- High light-reflective finish (LR-0.90 White products).
- Washable, scrubbable, impact and scratch resistant⁵.
- Coordinates visually with USG Halcyon™ Acoustical Panels for open- or closed-plan applications.
- Nondirectional, monolithic visual reduces installation time and waste.
- ClimaPlus™ 30-year limited system warranty against visible sag, mold and mildew.
- GREENGUARD Gold certified for low emitting performance.
- USG Mars™ High-NRC/High-CAC Acoustical Panels are part of the Ecoblueprint™ portfolio — meeting today's sustainability standards. For sustainability documentation go to USG.com or CGCInc.com.

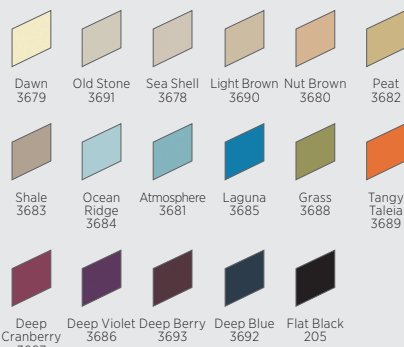
APPLICATIONS

- Offices
- Healthcare
- Classrooms and Corridors
- Reception Areas and Lobbies
- Department Stores and Retail
- Restaurants and Hospitality

SUBSTRATE

- Wet-formed Mineral Fiber

PREMIUM COLORS



STANDARD COLOR



CUSTOM COLOR



Unlimited
Color Options

Fine-Textured Panel

USG MARS™ HIGH-NRC/HIGH-CAC

ACOUSTICAL PANELS

CLIMAPLUS™ PERFORMANCE WITH PLANT-BASED BINDER⁷

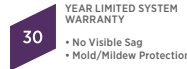
ORDER SAMPLES/LITERATURE
USG: usg.com or samplitt@usg.com
CGC: contact Sales Representative

FOR MOST UP-TO-DATE
TECHNICAL INFORMATION
AND LEED REPORT TOOL
usgdesignstudio.com
cgcdesignstudio.com
usg.ecomedes.com

TECHNICAL SERVICES
800 USG.4YOU (874-4968)



PRODUCT CERTIFIED
FOR LOW CHEMICAL
EMISSIONS
UL.COM/GG
UL 2818



USG MARS™ HIGH-NRC PANELS 95/30

Plant-Based Binder

USG MARS™ HIGH-NRC PANELS 90/30

Plant-Based Binder

USG MARS™ HIGH-NRC PANELS 85/35

Plant-Based Binder

UL Classified ⁵												
Edge	Panel Size	Fire Class	Item No.	NRC ⁸	CAC Min.	LR ²	Color	Grid Options	VOC Emissions	Anti-Mold & Mildew/Sag Resistance	Recycled Content ¹	Panel Cost
SQ 	2'x2'x1.3"	Class A	88280	0.95	30	0.90	White	A,B,C	Low		21%	\$\$\$
	2'x4'x1.3"	Class A	88281	0.95	30	0.90	White	A,B	Low		21%	\$\$\$
SL 	2'x2'x1.3"	Class A	88285	0.95	30	0.90	White	I	Low		21%	\$\$\$
	2'x4'x1.3"	Class A	88286	0.95	30	0.90	White	I	Low		21%	\$\$\$
FL 	2'x2'x1.3"	Class A	88290	0.95	30	0.90	White	J,K,L,M	Low		21%	\$\$\$
	2'x4'x1.3"	Class A	88291	0.95	30	0.90	White	J,K,L,M	Low		21%	\$\$\$
SQ 	2'x2'x1"	Class A	88137	0.90	30	0.90	White, color ⁶	A,B,C	Low		71%	\$\$\$
	2'x4'x1"	Class A	89137	0.90	30	0.90	White	A,B	Low		71%	\$\$\$
	30"x30"x1"	Class A	80213	0.90	30	0.90	White	A,B	Low		71%	\$\$\$
	30"x60"x1"	Class A	89143	0.90	30	0.90	White	A,B	Low		71%	\$\$\$
	2'x5'x1"	Class A	89673	0.90	30	0.90	White	A,B	Low		71%	\$\$\$
	2'x6'x1"	Class A	89674	0.90	30	0.90	White	A,B	Low		71%	\$\$\$
	2'x2'x1"	Class A	88138	0.90	30	0.90	White, color ⁶	D	Low		71%	\$\$\$
	2'x4'x1"	Class A	89138	0.90	30	0.90	White	D	Low		71%	\$\$\$
SLT 	30"x30"x1"	Class A	80239	0.90	30	0.90	White	D	Low		71%	\$\$\$
	30"x60"x1"	Class A	89144	0.90	30	0.90	White	D	Low		71%	\$\$\$
	2'x5'x1"	Class A	89675	0.90	30	0.90	White	D	Low		71%	\$\$\$
	2'x6'x1"	Class A	89676	0.90	30	0.90	White	D	Low		71%	\$\$\$
	2'x2'x1"	Class A	88139	0.90	30	0.90	White, color ⁶	E,F,G,H	Low		71%	\$\$\$
	2'x4'x1"	Class A	89139	0.90	30	0.90	White	E,F,G,H	Low		71%	\$\$\$
	30"x30"x1"	Class A	80265	0.90	30	0.90	White	E,F,G,H	Low		71%	\$\$\$
	30"x60"x1"	Class A	89145	0.90	30	0.90	White	E,F,G,H	Low		71%	\$\$\$
FLB 	2'x5'x1"	Class A	89677	0.90	30	0.90	White	E,F,G,H	Low		71%	\$\$\$
	2'x6'x1"	Class A	89678	0.90	30	0.90	White	E,F,G,H	Low		71%	\$\$\$
	2'x2'x7/8"	Class A	88134	0.85	35	0.90	White, color ⁶	A,B,C	Low		72%	\$\$\$
	2'x4'x7/8"	Class A	89134	0.85	35	0.90	White	A,B	Low		72%	\$\$\$
	30"x30"x7/8"	Class A	80113	0.85	35	0.90	White	A,B	Low		72%	\$\$\$
	30"x60"x7/8"	Class A	89140	0.85	35	0.90	White	A,B	Low		72%	\$\$\$
	2'x5'x7/8"	Class A	89662	0.85	35	0.90	White	A,B	Low		72%	\$\$\$
	2'x6'x7/8"	Class A	89663	0.85	35	0.90	White	A,B	Low		72%	\$\$\$

Low Emissions (VOC)

Certified for low emitting performance, meets CDPH 01350 v1.2 - 2017. Certificates of Compliance for Low VOC Emissions are available on usg.com and at usg.ecomedes.com.

ClimaPlus™ Warranty Performance³

Contains a broad-spectrum antimicrobial additive on the face and back of the panel that provides resistance against the growth of mold and mildew. Includes sag-resistance performance.

High Recycled Content

USG classifies High Recycled Content as greater than 50%. Methodology of calculation based on FTC guidelines.

USG MARS™ HIGH-NRC/HIGH-CAC

ACOUSTICAL PANELS

CLIMAPLUS™ PERFORMANCE WITH PLANT-BASED BINDER⁷

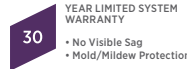
ORDER SAMPLES/LITERATURE
USG: usg.com or samplit@usg.com
CGC: contact Sales Representative

FOR MOST UP-TO-DATE
TECHNICAL INFORMATION
AND LEED REPORT TOOL
usgdesignstudio.com
cgcdesignstudio.com
usg.ecomedes.com

TECHNICAL SERVICES
800.USG.4YOU (874-4968)



PRODUCT CERTIFIED
FOR LOW CHEMICAL
EMISSIONS
UL.COM/GG
UL 2818



USG MARS™ HIGH-NRC PANELS 85/35

Plant-Based Binder

USG MARS™ HIGH-NRC/ HIGH-CAC PANELS 80/40

Plant-Based Binder

USG MARS™ HIGH-NRC PANELS 80/35

Plant-Based Binder

Edge	Panel Size	Fire Class	Item No.	UL Classified ⁵		LR ²	Color	Grid Options	VOC Emissions	Anti-Mold & Mildew/Sag Resistance	Recycled Content ¹	Panel Cost
				NRC ⁸	CAC Min.							
SLT	2'x2'x7/8"	Class A	88135	0.85	35	0.90	White, color ⁶	D	Low		74%	\$\$\$
	2'x4'x7/8"	Class A	89135	0.85	35	0.90	White	D	Low		74%	\$\$\$
	30"x30"x7/8"	Class A	80139	0.85	35	0.90	White	D	Low		74%	\$\$\$
	30"x60"x7/8"	Class A	89141	0.85	35	0.90	White	D	Low		74%	\$\$\$
	2'x5'x7/8"	Class A	89664	0.85	35	0.90	White	D	Low		72%	\$\$\$
	2'x6'x7/8"	Class A	89665	0.85	35	0.90	White	D	Low		72%	\$\$\$
FLB	2'x2'x7/8"	Class A	88136	0.85	35	0.90	White, color ⁶	E,F,G,H	Low		74%	\$\$\$
	2'x4'x7/8"	Class A	89136	0.85	35	0.90	White	E,F,G,H	Low		74%	\$\$\$
	30"x30"x7/8"	Class A	80165	0.85	35	0.90	White	E,F,G,H	Low		74%	\$\$\$
	30"x60"x7/8"	Class A	89142	0.85	35	0.90	White	E,F,G,H	Low		74%	\$\$\$
	2'x5'x7/8"	Class A	89667	0.85	35	0.90	White	E,F,G,H	Low		72%	\$\$\$
	2'x6'x7/8"	Class A	89668	0.85	35	0.90	White	E,F,G,H	Low		72%	\$\$\$
SQ	2'x2'x1"	Class A	86345	0.80	40	0.90	White	A,B,C	Low		74%	\$\$
	2'x4'x1"	Class A	88345	0.80	40	0.90	White	A,B	Low		74%	\$\$
SLT	2'x2'x1"	Class A	86346	0.80	40	0.90	White	D	Low		74%	\$\$
	2'x4'x1"	Class A	88346	0.80	40	0.90	White	D	Low		74%	\$\$
FLB	2'x2'x1"	Class A	86347	0.80	40	0.90	White	E,F,G,H	Low		74%	\$\$
	2'x4'x1"	Class A	88347	0.80	40	0.90	White	E,F,G,H	Low		74%	\$\$
SQ	2'x2'x7/8"	Class A	86100	0.80	35	0.90	White	A,B,C	Low		74%	\$\$
	2'x4'x7/8"	Class A	86300	0.80	35	0.90	White	A,B	Low		74%	\$\$
	30"x30"x7/8"	Class A	86426	0.80	35	0.90	White	A,B	Low		74%	\$\$
	30"x60"x7/8"	Class A	86429	0.80	35	0.90	White	A,B	Low		74%	\$\$
	2'x5'x7/8"	Class A	86350	0.80	35	0.90	White	A,B	Low		74%	\$\$
	2'x6'x7/8"	Class A	86360	0.80	35	0.90	White	A,B	Low		74%	\$\$
SLT	2'x2'x7/8"	Class A	87200	0.80	35	0.90	White	D	Low		74%	\$\$
	2'x4'x7/8"	Class A	89600	0.80	35	0.90	White	D	Low		74%	\$\$
	30"x30"x7/8"	Class A	86500	0.80	35	0.90	White	D	Low		74%	\$\$
	30"x60"x7/8"	Class A	86466	0.80	35	0.90	White	D	Low		74%	\$\$
	2'x5'x7/8"	Class A	89650	0.80	35	0.90	White	D	Low		74%	\$\$
	2'x6'x7/8"	Class A	89660	0.80	35	0.90	White	D	Low		74%	\$\$

Low Emissions (VOC)

Certified for low emitting performance, meets CDPH 01350 v1.2 - 2017. Certificates of Compliance for Low VOC Emissions are available on usg.com and at usg.ecomedes.com.

ClimaPlus™ Warranty Performance³

Contains a broad-spectrum antimicrobial additive on the face and back of the panel that provides resistance against the growth of mold and mildew. Includes sag-resistance performance.

High Recycled Content

USG classifies High Recycled Content as greater than 50%. Methodology of calculation based on FTC guidelines.

USG MARS™ HIGH-NRC/HIGH-CAC

ACOUSTICAL PANELS

CLIMAPLUS™ PERFORMANCE WITH PLANT-BASED BINDER⁷

ORDER SAMPLES/LITERATURE
USG: usg.com or samplitt@usg.com
CGC: contact Sales Representative

TECHNICAL SERVICES
800 USG.4YOU (874-4968)

FOR MOST UP-TO-DATE TECHNICAL INFORMATION AND LEED REPORT TOOL
usgdesignstudio.com
cgcdesignstudio.com
usg.ecomedes.com



PRODUCT CERTIFIED
FOR LOW CHEMICAL
EMISSIONS
UL.COM/GG
UL 2818



USG MARS™ HIGH-NRC PANELS 80/35

Plant-Based Binder

USG MARS™ HIGH-CAC PANELS 60/40

UL Classified ⁵												
Edge	Panel Size	Fire Class	Item No.	NRC ⁸	CAC Min.	LR ²	Color	Grid Options	VOC Emissions	Anti-Mold & Mildew/Sag Resistance	Recycled Content ¹	Panel Cost
												
FLB 	2'x2'x7/8"	Class A	87100	0.80	35	0.90	White	E,F,G,H	Low		74%	\$
	2'x4'x7/8"	Class A	89500	0.80	35	0.90	White	E,F,G,H	Low		74%	\$
	30"x30"x7/8"	Class A	86400	0.80	35	0.90	White	E,F,G,H	Low		74%	\$
	30"x60"x7/8"	Class A	86497	0.80	35	0.90	White	E,F,G,H	Low		74%	\$
	2'x5'x7/8"	Class A	89550	0.80	35	0.90	White	E,F,G,H	Low		74%	\$
	2'x6'x7/8"	Class A	89670	0.80	35	0.90	White	E,F,G,H	Low		74%	\$
SQ 	2'x2'x3/4"	Class A	86186	0.60	40	0.90	White, color ⁶	A,B,C	Low		76%	\$\$\$
	2'x4'x3/4"	Class A	87187	0.60	40	0.90	White	A,B	Low		76%	\$\$\$
SLT 	2'x2'x3/4"	Class A	86786	0.60	40	0.90	White, color ⁶	D	Low		76%	\$\$\$
	2'x4'x3/4"	Class A	88786	0.60	40	0.90	White	D	Low		76%	\$\$\$
FLB 	2'x2'x3/4"	Class A	86986	0.60	40	0.90	White, color ⁶	E,F,G,H	Low		76%	\$\$\$
	2'x4'x3/4"	Class A	88986	0.60	40	0.90	White	E,F,G,H	Low		76%	\$\$\$

Low Emissions (VOC)

Certified for low emitting performance, meets CDPH 01350 v1.2 - 2017. Certificates of Compliance for Low VOC Emissions are available on usg.com and at usg.ecomedes.com.

ClimaPlus™ Warranty Performance³

Contains a broad-spectrum antimicrobial additive on the face and back of the panel that provides resistance against the growth of mold and mildew. Includes sag-resistance performance.

High Recycled Content

USG classifies High Recycled Content as greater than 50%. Methodology of calculation based on FTC guidelines.

GRID PROFILE OPTIONS

A USG DX®	B USG DXW™	C ⁴ USG Centricitee™ DXT™	D USG DX®	E USG Centricitee™ DXT™	F USG Fineline® DXF™	G USG Fineline® 1/8 DXFF™	H USG Identitee® DXI™
I USG DX®	J USG Centricitee™ DXT™	K USG Fineline® DXF™	L USG Fineline® 1/8 DXFF™	M USG Identitee® DXI™			

PHYSICAL DATA

ASTM E1264 classification

ASTM E1264-22: Type IV, Form 1 and 2, Pattern E, G
ASTM E1264-23: Type A, Form A2.1 and A2.2, Pattern E, G

ASTM E84 and CAN/ULC S102 surface-burning characteristics

Class A
Flame spread: 25 or less
Smoke developed: 50 or less

Weight

1.09 - 1.36 lb./sq.ft.

Online tools

usgdesignstudio.com, cgcdesignstudio.com
or usg.ecomedes.com

Thermal resistance

R-2.2 (3/4" panels)
R-4.5 (1.3" panels)

Maximum backloading

See *USG 30-Year Limited System Warranty Commercial Applications* (SC2102).

Maintenance

Can be cleaned easily with a soft brush or vacuum. To clean white panels, use a clean, white cloth with water or a mild detergent and wipe surface.

Metric sizes available

Contact sales for minimum quantities and lead times.

Notes

- For details, see USG Sustainability tool at usgdesignstudio.com or cgcdesignstudio.com.
- LR values are shown as averages.
- For details, see *USG 30-Year Limited System Warranty Commercial Applications* (SC2102).
- Maximum 2'x2' with SQ edge panels.
- Acoustic values, washability, scrubability, impact, and scratch resistance are for white panels. Color may impact performance based on color selected.
- See Colors selector for more information.
- All USG Mars™ High-NRC Acoustical Panels with a "plant-based binder" label contain up to 65% plant-based material in the binder. For more information, please refer to the USG Mars Acoustical Panels Health Product Declaration, available at www.usg.com.
- It is not recommended to mix panels with varying NRC values in the same ceiling plane.

Notice

The information in this document is subject to change without notice. CGC Inc. or USG Corp. assumes no responsibility for any errors that may inadvertently appear in this document.

SC2487/rev. 7-25

© 2025 USG Corporation and/or its affiliates. All rights reserved. Printed in USA

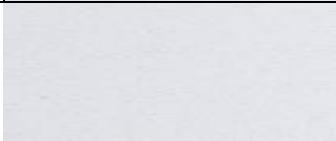
Manufactured by
USG Interiors, LLC
550 West Adams Street
Chicago, IL 60661

The trademarks USG, CGC, CENTRICITEE, CLIMAPLUS, DONN, DX, DXF, DXFF, DXI, DXT, DXW, ECOBLUEPRINT, FINELINE, HALCYON, IDENTITEE, MARS, IT'S YOUR WORLD. BUILD IT, the USG/CGC logo, the design elements and colors, and related marks are trademarks of USG Corporation or its affiliates.

Safety First! Follow good safety/industrial hygiene practices during installation. Wear appropriate personal protective equipment. Read SDS and literature before specification and installation.



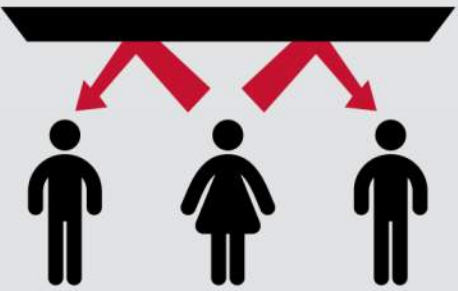
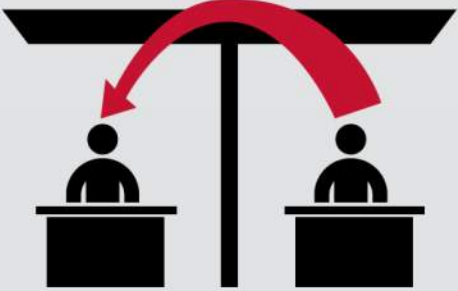
Product Comparison

	USG Mars High-NRC (90 NRC)	USG Mars High-NRC (95 NRC)	Armstrong Optima PB
Material	Mineral Fiber	Mineral Fiber	Fiberglass
Noise Reduction Coefficient (NRC)	0.90	0.95	0.95
Ceiling Attenuation Class (CAC)	30	30	N/A
Plant Based Binder (PB)	Yes	Yes	Yes
Fire Rating	Class A	Class A	Class A
Light Reflectance	0.90	0.90	0.88
			

- USG Mars High-NRC (90 NRC)**
 - This product is **nearly identical** to specified product.
 - Meets specification: Visual appearance, high sound absorbing value (NRC is only off by 0.05), provides Balanced Acoustics (NRC + CAC)
 - Exceeds specification: CAC value, contains Plant Based Binders (PB), more cost-effective option (\$) than specified product
- USG Mars High-NRC (95 NRC)**
 - This product **meet & exceeds** specified product in performance & visual.
 - Meets specification: Visual appearance, NRC value, Edge Detail, provides Balanced Acoustics (NRC + CAC)
 - Exceeds specification: CAC value, contains Plant Based Binders (PB), more cost-effective option (\$) than specified product

BALANCED ACOUSTICS = NRC + CAC

EVALUATING CEILINGS: NRC, CAC & AC

Noise Reduction Coefficient (NRC)	Ceiling Attenuation Class (CAC)
NRC: A measure of sound absorption. A 0.70 means the material absorbs 70% of sound waves. This is an important consideration for controlling acoustics within a confined area. Tests are conducted according to ASTM C423. ASTM C423: Standard Test Method for Sound Absorption and Sound Absorption Coefficients by the Reverberation Room Method. 	CAC: Applies to the sound attenuation of acoustical ceilings with a shared plenum between horizontally adjacent spaces. A value of under 25 is considered poor, while a value of 35 and over is exceptional. Tests are conducted per ASTM E1414 and classified per ASTM E413. ASTM E1414: Standard Test Method for Airborne Sound Attenuation Between Rooms Sharing a Common Ceiling Plenum. ASTM E413: Classification for Rating Sound Insulation. 

CSI Form 1.5C

SUBSTITUTION REQUEST (During the Bid Period)

Project: Kirkwood Community College East Hall Substitution Request Number: 3
From: Golden Valley Supply
To: _____ Date: 7/29/26
A/E Project Number: 25030
Re: _____ Contract For: _____

Specification Title: Acoustical Panels Description: Filzfelt Hanging Divider Panel
Section: _____ Page: A601 Article/Paragraph: AP-1

Proposed Substitution: Golterman & Sabo aCapella Partitions Divider
Manufacturer: _____ Address: _____ Phone: _____
Trade Name: _____ Model No.: _____

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

The Undersigned certifies:

- Proposed substitution has been fully investigated and determined to be equal or superior in all respects to specified product.
- Same warranty will be furnished for proposed substitution as for specified product.
- Same maintenance service and source of replacement parts, as applicable, is available.
- Proposed substitution will have no adverse effect on other trades and will not affect or delay progress schedule.
- Proposed substitution does not affect dimensions and functional clearances.
- Payment will be made for changes to building design, including A/E design, detailing, and construction costs caused by the substitution.

Submitted by: Tara Garbe
Signed by: Tara Garbe
Firm: Golden Valley Supply
Address: 1000 Zane Ave N
Minneapolis, MN 55422
Telephone: 763-544-8907

A/E's REVIEW AND ACTION

- ☐ Substitution approved - Make submittals in accordance with Specification Section 01 25 00 Substitution Procedures.
☐ Substitution approved as noted - Make submittals in accordance with Specification Section 01 25 00 Substitution Procedures.
☐ Substitution rejected - Use specified materials.
☐ Substitution Request received too late - Use specified materials.

Signed by: _____

Date: _____

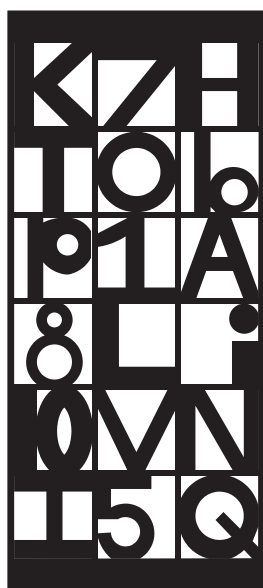
Supporting Data Attached: ☐ Drawings ☒ Product Data ☐ Samples ☐ Tests ☐ Reports ☐ _____

aCapella PartiTions (APD)

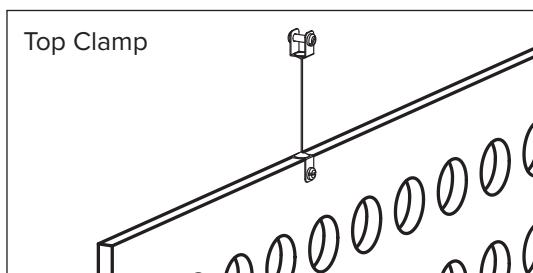
Room Dividers



aCapella aCapella PartiTions are suspended, polyester acoustical panels with cut-out designs. PartiTions are used to divide open spaces, or work areas, with partial obstructions, sound absorption and creative design. PartiTions can be fixed from two hanging points or track mounted to create a movable divider. PartiTion panels can be cut to any design up to 4' x 9' in 16 solid colors. 12 standard PartiTion designs are shown on the proceeding pages.



School Yard



SOUND ABSORPTION

Hz	125	250	500	1000	2000	4000	N.R.C.
APD	1.17	1.62	3.21	4.36	6.05	6.96	.95

Note: NRC based on J-mount with solid 12" x 48" Baffles.



CORE

1/2" Recycled Polyester

SIZES

Custom sizes and shapes up to 4' x 9'

MOUNTING

Top Clamp: Cable

FINISH

16 standard colors

EDGES

Square

CLEANING

Bleach Cleanable (10:1)

Water-based/Solvent (WS)

Mold & Fungal Resistant (ASTM C1338)

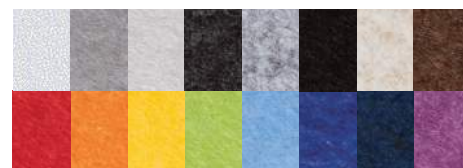
SUSTAINABILITY

Declare, HPD, Indoor Advantage™ Gold

FLAMMABILITY

All components have a Class "A" rating per ASTM E84

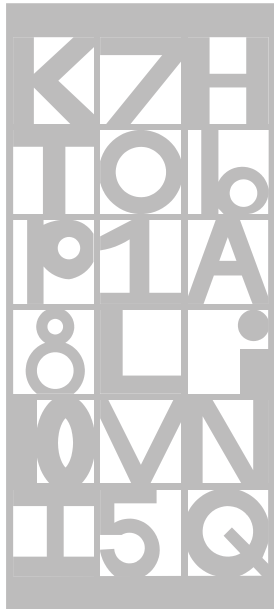
COLORS



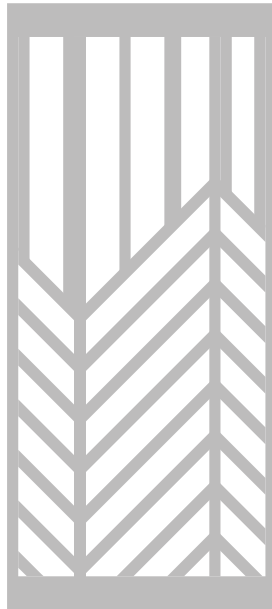
WOODWINDS COLLECTION



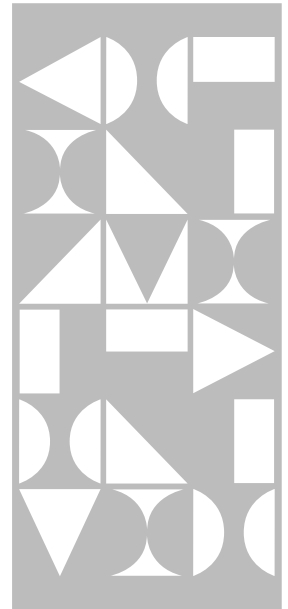
Woodwinds is an upgrade finish, contact G&S for additional cost.



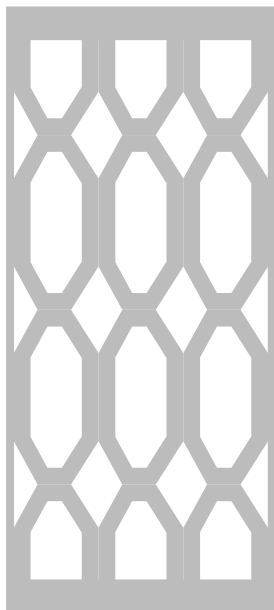
School Yard



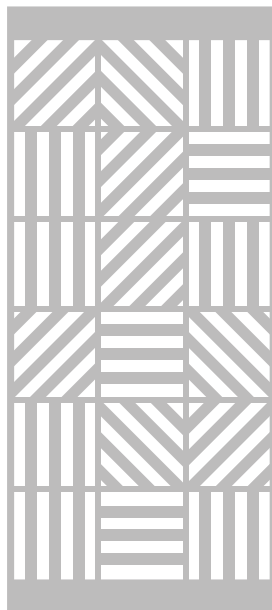
Chevron



Woodcut



Links

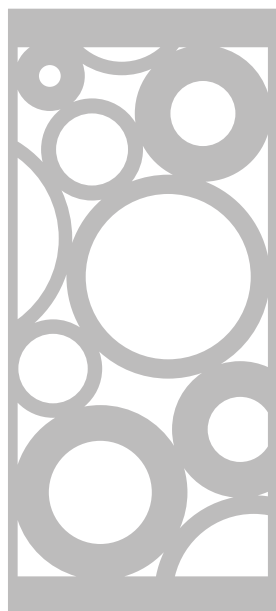


Signal

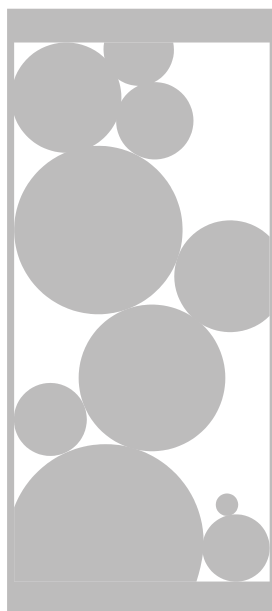


Timber

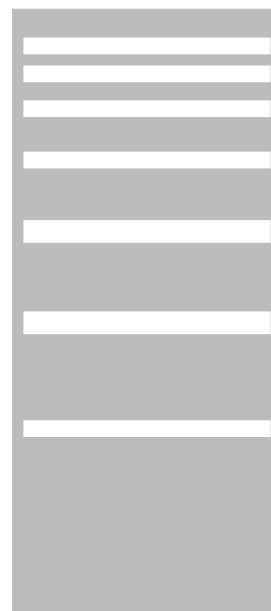
*Custom designs are available.



Hoops



Bubbles



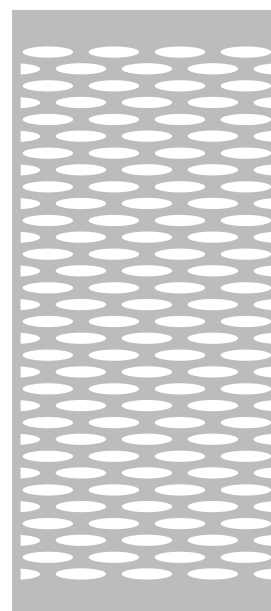
Sunset



Sunrise



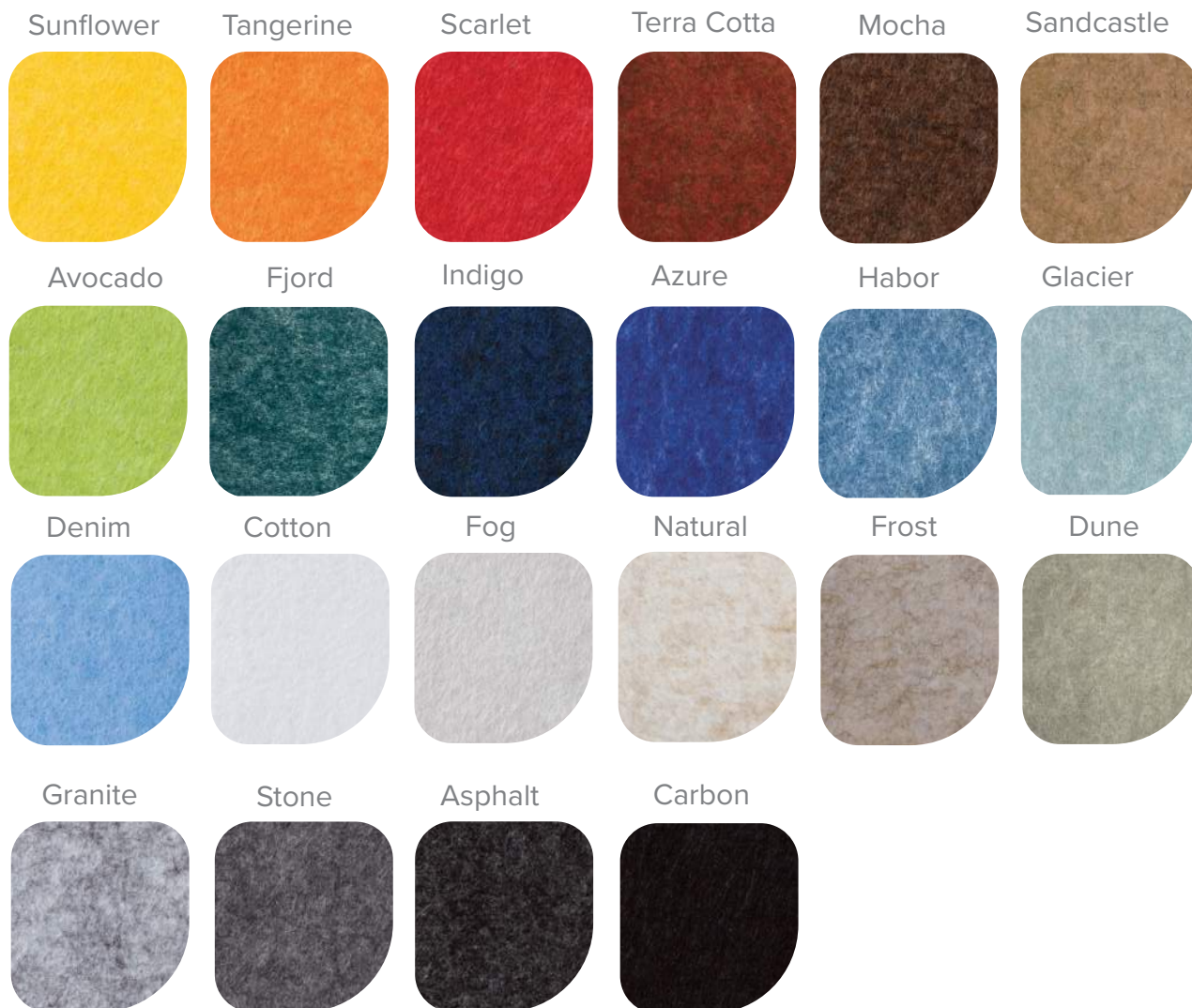
High Noon



Ellipticals

*Custom designs are available.

aCapella COLORS



Reproduction of color is limited by the printing process. Samples are available upon request.
Due to the recycled content, polyester panels are subject to slight variations in color and dye lots.
All products are custom manufactured and not subject to return.

CONTROLLING SOUND BEAUTIFULLY

800-737-0307 • 636-225-8800 • www.gsacoustics.com



Kirkwood East Hall Renovation

Pre-Bid Meeting Agenda

August 6, 2026 at 10:00 a.m.

ATTENDANCE: Please sign in.

INTRODUCTIONS - PROJECT TEAM

- Larson Construction Co., Inc., Construction Manager At Risk (CMaR) - Main Contacts:
 - Tyler Cooksley, Sr. Project Superintendent
 - Phone: 319.327.4797
 - Email: tcooksley@larsonconst.com
 - Cory Kress/Ann Schwartz, Sr. Project Manager, Pre-Construction Manager
 - Phone: 319.327.0018
 - Email: ckress@larsonconst.com aschwartz@larsonconst.com
 - Alyssa, Assitant Project Manager
 - Phone: 319.327.3732
 - Email: alarson@larsonconst.com
- Solum Lang Architects - Main Contacts:
 - Elyse Garlock, AIA -Architect
 - Phone: 319.862.0384
 - Email: egarlock@solumlangarchitects.com
 - Hunter Wille
 - Phone: 319.862.0384
 - Email: hwille@solumlangarchitects.com
 - Al Buck, AIA + LEED AP BD+C
 - Phone: 319.540.3259
 - Email: abuck@solumlangarchitects.com
- Design Engineers - Main Contacts:
 - Blake Anderson PE, LEED AP
 - Phone: 319.734.1139
 - Email: blake.anderson@designengineers.com
 - Andy Diederich PE, LEED AP
 - Phone: 319.734.1130
 - Email: andy.diederich@desinengineers.com
 - Clayton Stewart - Mechanical Engineer
 - Phone: 319.734.1070
 - Email: clayton.stewart@designengineers.com
 - Adrienne Schroeder - Electrical Engineer
 - Phone: 319.841.1944
 - Email: adrienne.schroeder@designengineers.com



- Owner -Kirkwood Community College - Main Contacts:

Monica Davis - AIA

Phone: 203.858.9439

Email: monica.davis@kirkwood.edu

Chris Croy

Phone: 319.533.7609

Email: chris.croy@kirkwood.edu

PROJECT DESCRIPTION & LOGISTICS

- This is a remodel of 50,000 sf building on levels 1 and 2 of East Hall located on the Kirkwood Community college campus. The existing building is a 2-stories used for general Business occupancy. The project scope includes exterior signage and the interior Remodel of existing office and shell space into new offices, conference rooms and Training spaces. Updates will be made to mechanical and electrical systems including the installation of new rooftop equipment. Existing sprinkler and life safety systems will remain in place. The new interior construction will be drywall with steel studs, built in casework, floor, wall and ceiling finishes.
- Phasing/Schedule:
 - Schedule - Attached

BID INFORMATION

- Bid Procedures:
 - Bids shall be submitted in sealed envelope to CM per spec section 00 12 13
Larson Construction - Cedar Rapids Office
333 1st Street SE Suite 300 - Cedar Rapids, Iowa
 - Bids will be publicly opened and read aloud immediately after Bid time of 2:00 p.m.
- Bid Time:
 - Date: August 20, 2026
 - Time: 2:00 p.m., Central Time
- Bid Packages:
 - Bid Package #01 - General Construction
 - Bid Package #02 - Aluminum and Glazing
 - Bid Package #03 - Cold Metal Framing/ Drywall
 - Bid Package #04 - Suspended Ceiling Systems
 - Bid Package #05 - Tiling/ Carpeting/ Base
 - Bid Package #06 - Painting
 - Bid Package #07 - Fire Suppression
 - Bid Package #08 - Mechanical (Plumbing/HVAC)
 - Bid Package #09 - Electrical (Electrical/ Communications/ Safety and Security)
- Bid Security: Not Required

ADMINISTRATIVE

- Bidding documents may be examined at the Construction Manager's Office, and online at the following location(s):
 - Rapids Reproductions: www.rapidsrepro.com
 - MBI Build/ConstructConnect: www.constructconnect.com



- Owners website: <https://www.kirkwood.edu/about-us/faculty-leadership/leadership-team/facilities-public-safety-and-operations/notice-to-bidders>
- Bidders are encouraged to register as a plan-holder at Rapids Reproduction, www.rapidsrepro.com. Once registered, bidders can access bidding documents at no charge. Bidding documents may be downloaded, viewed and printed from their website. Addenda and other project communications will be distributed to plan-holders from Rapids Reproductions. Hard copies of the bidding documents may be obtained from: Rapids Reproduction, Inc., 6015 Huntington Ct. NE, Cedar Rapids, IA 52402, Phone: (800) 383-1223, FAX: (319) 364-2645.
- Pre-approved Prime bidders list - Attached
- Contract:
 - Each Bid Package will have a lump sum contract with Larson Construction Co. Inc., CMAA.
- Retainage: 3% Retainage
- Bonds/Insurance:
 - Bonds - Not Required
 - Certificate of Insurance (COI) - See sample for limits in the Specifications.
 - Builder's Risk Insurance - By Owner
- Sales Tax:
 - This project is sales tax exempt. DO NOT include sales tax on your bids.
 - Owner to provide tax exemption forms through the CMAA.
- Unit Prices: None at this time
- Liquidated Damages: \$1,000/day
- Addenda Scheduled Release Dates:
 - Addendum #1 - August 4, 2026
 - Addendum #2 - August 11, 2026
 - Addendum #3 - August 18, 2026
- Allowances: None at this time
- Alternates:
 - Alternate #1 - Exterior Signage Structure
- Permits:
 - General Building Permit - By CMAA/Owner
 - Demolition Permit - By Contractor
 - Asbestos Abatement - By Owner
 - Mechanical/Electrical - By Contractor
- Temporary Facilities:
 - Please read specification section 01 50 00 Temporary Facilities in Contract Documents.
- Cleanup:
 - The CM shall supply a dumpster for general construction refuse only.
 - Demolition rubble shall be removed and disposed of off-site by contractor.
 - Housekeeping is every contractor's responsibility. If a contractor fails to keep their site clean, LCCI will notify the situation in writing and give 24 hours to correct the situation. If not corrected, LCCI charges \$95/hour/person plus rental, cleaning supplies, & removal charges.



SAFETY

- Safety orientation for ALL employees is required by LCCI. This is a mandatory one-time training that each individual working on the jobsite will need to complete **BEFORE** starting work on this project.
- Hard hats, safety glasses and high visibility attire are required.
- Compliance with all OSHA & IOSHA rules and regulations for worker safety are required.
- The CMaR/Owner/Architect are not responsible for meeting or exceeding OSHA standards and are not liable for any fines that may occur.
- The cost of barricades, warning lights, barriers, etc. as deemed necessary for the safety of the Owner and other trades will be per contractor.
- Contractors are responsible for their own employee safety and health programs.

QUESTIONS/COMMENTS

Thank you for attending!

Name

Cell Phone

Company

Email Address

ANN SCHWARTZ	319.327.0021	LCCI	aschwartz@larsonconst.com
MONICA DAVIS	203-858-9439	KCC	monica.davis@kirkwood.edu
CHRIS CROG	319-533-7609	kec	chris.crog@kirkwood.edu
BO NUNEMALSER	319-929-8723	Premier Electric	bo@premierelectricalservicesco.com
MATT SHERRITS	563-920-3470	Pearson Wall Systems	msherrits@pearsonwall.com
CARTER SMITH	563-529-4222	HOMETOWN MECH.	carter@hometownmechanical.com
TOM GROOMON	319-551-4515	D & S SITE ETM ETC	TGROOMON@DS-SITEETMETAL.COM
JOHN BEDNSTRIK	319-398-3340	Callling Construction Inc	estimating@calllingconstruction.com
MIKE NEMSCHOFF	920-420-1626	City Construction	Mike.N@cityconstruction.bld
ELYSE GARLOCK	319-431-1950	SOLIM LANK ARCHITECTS	EGARLOCK@SOLIMLANKARCHITECTS.COM
TYLER COOKSLEY	319-327-4797	LCCI	tcooksley@LarsonConst.Com
AUSTIN JACKSON	319-504-9183	Iowa Wall Systems	Austin@iowawallsystems.com
JOHN MAGNUSON	319-415-8773	Iowa Wall Systems	john.magnuson@iowawallsystems.com
MINDY HAWKINS	319-533-0695	Nelson Electric	mindyh@nelsonelectric.com
RENEE CLEMENSEN	319-533-5919	Nelson Electric	reneec@Nelsonelectric.com
HEATH ENGELHART	319 533 2771	Nelson Electric	heath@nelsonelectric.com
ZAC JERSON	319-461-8931	STICKS ON STILTS	sticksonstilts@gmail.com
TIM JOENS	Artisan CG	319-233-0513	

EAST HALL RENOVATION-KIRKWOOD COMMUNITY COLLEGE																																																							
SCHEDULE MONTH						August 2026					September 2026				October 2026					November 2026				December 2026				January 2027					February 2027				March 2027																		
ID	Activity	Start	Finish	Calendar Days	Responsible	8/1	8/8	8/15	8/22	8/29	9/5	9/12	9/19	9/26	10/3	10/10	10/17	10/24	10/31	11/7	11/14	11/21	11/28	12/5	12/12	12/19	12/26	1/2	1/9	1/16	1/23	1/30	2/6	2/13	2/20	2/27	3/6	3/13	3/20	3/27															
1	Owner move-out and area turnover	8/1/26	9/1/26	32	Owner																																																		
4	Mobilization and site logistics	9/1/26	9/4/26	4	CM/Owner																																																		
5	Temporary partitions, dust control and protection	9/1/26	9/8/26	8	BP #3 Cold Metal Framing/Drywall																																																		
7	Tag, inventory and store salvaged materials	9/8/26	9/18/26	11	BP #1 General Construction / Owner																																																		
8	Selective demolition - Level 1 Area A	9/8/26	9/25/26	18	BP #1 General Construction																																																		
9	Selective demolition - Level 1 Area B	9/14/26	10/2/26	19	BP #1 General Construction																																																		
10	Selective demolition - Level 2 Area A	9/21/26	10/9/26	19	BP #1 General Construction																																																		
11	Selective demolition - Level 2 Area B	9/28/26	10/16/26	19	BP #1 General Construction																																																		
12	MEP, fire suppression, fire alarm and technology demolition	9/14/26	10/23/26	40	BP #7 Fire Suppression / BP #8 Mechanical / BP #9 Electrical																																																		
13	Concrete scanning, slab cutting and removal	9/28/26	10/7/26	10	BP #1 General Construction / BP #8 Mechanical																																																		
14	Underslab plumbing installation	10/5/26	10/14/26	10	BP #8 Mechanical																																																		
15	Underslab plumbing inspection	10/15/26	10/16/26	2	BP #8 Mechanical / AHJ																																																		
16	Slab on Grade	10/19/26	10/23/26	5	BP #1 General Construction																																																		
17	Exterior sign foundation	10/12/26	10/16/26	5	BP #1 General Construction																																																		
18	Roof penetration coordination, curbs and shop drawings	9/14/26	10/30/26	47	BP #1 General Construction / BP #8 Mechanical																																																		
19	Steel stud framing - Level 1 Area A	10/5/26	10/23/26	19	BP #3 Cold Metal Framing/Drywall																																																		
20	Steel stud framing - Level 1 Area B	10/12/26	10/30/26	19	BP #3 Cold Metal Framing/Drywall																																																		
21	Steel stud framing - Level 2 Area A	10/19/26	11/6/26	19	BP #3 Cold Metal Framing/Drywall																																																		
22	Steel stud framing - Level 2 Area B	10/26/26	11/20/26	26	BP #3 Cold Metal Framing/Drywall																																																		
23	Door frame delivery	10/15/26	10/15/26	1	BP #1 General Construction																																																		
24	Install hollow-metal door frames	10/16/26	10/22/26	7	BP #3 Cold Metal Framing/Drywall																																																		
25	Rough carpentry, backing and equipment supports	10/12/26	11/20/26	40	BP #1 General Construction / BP #3 Cold Metal Framing/Drywall																																																		
26	Owner-furnished rooftop units delivered to campus	11/1/26	11/1/26	1	Owner																																																		
27	Cut roof penetrations; install curbs and temporary weatherproofing	11/2/26	11/4/26	3	BP #1 General Construction / BP #8 Mechanical																																																		
28	Set rooftop units and complete roof connections	11/5/26	11/10/26	6	Owner / BP #8 Mechanical / BP #9 Electrical																																																		
29	Permanent roof flashing, membrane restoration and walkway pads	11/5/26	11/13/26	9	BP #1 General Construction / BP #8 Mechanical																																																		
30	Wall and above-ceiling MEP rough-in - Level 1 Area A	10/19/26	11/20/26	33	BP #7 Fire Suppression / BP #8 Mechanical / BP #9 Electrical																																																		
31	Wall and above-ceiling MEP rough-in - Level 1 Area B	10/26/26	12/4/26	40	BP #7 Fire Suppression / BP #8 Mechanical / BP #9 Electrical																																																		
32	Wall and above-ceiling MEP rough-in - Level 2 Area A	11/2/26	12/18/26	47	BP #7 Fire Suppression / BP #8 Mechanical / BP #9 Electrical																																																		
33	Wall and above-ceiling MEP rough-in - Level 2 Area B	11/16/26	12/8/26	23	BP #7 Fire Suppression / BP #8 Mechanical / BP #9 Electrical																																																		
34	Fire alarm, technology and security pathways and cabling	11/2/26	12/15/26	44	BP #9 Electrical																																																		
35	Wall insulation, acoustical sealants and firestopping	11/9/26	12/15/26	37	BP #3 Cold Metal Framing/Drywall / BP #7 / BP #8 / BP #9																																																		
36	Rough-in and above-ceiling inspections by zone	11/16/26	12/22/26	37	CM / BP #7 / BP #8 / BP #9 / AHJ																																																		
37	Drywall hanging - Level 1 Area A	11/23/26	12/11/26	19	BP #3 Cold Metal Framing/Drywall																																																		
38	Drywall hanging - Level 1 Area B	12/7/26	12/23/26	17	BP #3 Cold Metal Framing/Drywall																																																		

[illegible]

Kirkwood Community College - East Hall Renovation

SOQs Received & Approved - Subcontractor Prequalification to Bid

Bid Package	Company	Phone	Email	Approved?
BP #1 - General Construction	City Construction	C: 920.420.1626 O: 319.338.5100	mike.n@cityconstruction.build	✓
BP #1 - General Construction	Garling Construction, Inc.	C: 319.521.4147 O: 319.398.3340	tpins@garlingconstruction.com	✓
BP #1 - General Construction	Larson Construction Co., Inc.	C: N/A O: 319.334.7061	bids@larsonconst.com	✓
BP #1 - General Construction	McComas-Lacina Construction LC	C: 641.275.2597 O: 319.338.1125	wiley@mccomaslacina.com	✓
BP #1 - General Construction	Rice Companies, Inc.	C: 319.541.7142 O: 319.243.1000	justin.bohlke@ricecompanies.com	✓
BP #1 - General Construction	Tricon Construction Group	C: 563.599.7100 O: 563.588.9516	ronrichard@triconcg.com	✓
BP #2 - Aluminum and Glazing	AM Glass Repair	C: 319.826.0378 O: 319.826.4070	josh@amglassrepair.com	✓
BP #2 - Aluminum and Glazing	Ford Metro, Inc.	C: 507.254.1617 O: 507.289.3777	kswanson@kasinvestment.com	✓
BP #2 - Aluminum and Glazing	Tricon Construction Group	C: 563.599.7100 O: 563.588.9516	ronrichard@triconcg.com	✓
BP #2 - Aluminum and Glazing	Zephyr Aluminum Products, Inc.	C: N/A O: 563.588.2036	scottt@zephyralum.com	✓
BP #3 - Cold Metal Framing/Drywall	Allied Construction & Color, Inc.	C: 563.723.9928 O: 563.355.2651	jzirkel@alliedconst.com	✓
BP #3 - Cold Metal Framing/Drywall	Garling Construction, Inc.	C: 319.521.4147 O: 319.398.3340	tpins@garlingconstruction.com	✓
BP #3 - Cold Metal Framing/Drywall	Heartland Finishes, Inc.	C: 319.486.1486 O: 515.244.8900	bidding@hrtInd.us	✓
BP #3 - Cold Metal Framing/Drywall	Iowa Wall Systems, Inc.	C: 319.504.9183 O: 319.296.1663	austin@iowawallsystems.com	✓
BP #3 - Cold Metal Framing/Drywall	Menefee Drywall Co., Inc.	C: 563.219.0458 O: 319.362.3043	ghepker@menefeedrywall.com	✓
BP #3 - Cold Metal Framing/Drywall	Pearson Wall Systems, Inc.	C: N/A O: 319.390.5993	msherrets@pearsonwall.com	✓
BP #3 - Cold Metal Framing/Drywall	Precision Drywall, Inc.	C: 319.329.5705 O: 319.363.5616	ericheim@precisiondrywallinc.com	✓
BP #3 - Cold Metal Framing/Drywall	Tricon Construction Group	C: 563.599.7100 O: 563.588.9516	ronrichard@triconcg.com	✓
BP #4 - Suspended Ceiling Systems	Acoustics by Washburn	C: 319.533.5278 O: 319.533.5278	abw@southslope.net	✓
BP #4 - Suspended Ceiling Systems	Artisan Ceiling Systems and Acoustical Specialties	C: 319.504.9616 O: 319.233.0513	casey@artisanceilings.com	✓
BP #4 - Suspended Ceiling Systems	Harger's Acoustics Inc.	C: 319.533.2580 O: 319.848.4000	hargersmike@southslope.net	✓
BP #4 - Suspended Ceiling Systems	Sticks on Stilts, Inc.	C: 319.461.8931 O: 319.461.8931	sticksonstilts@gmail.com	✓
BP #5 - Tiling/Carpet/Base	Allied Construction & Color, Inc.	C: 563.723.9928 O: 563.355.2651	jzirkel@alliedconst.com	✓
BP #5 - Tiling/Carpet/Base	Commercial Flooring Co.	C: 563.213.0236 O: 563.582.4976	mb@commercialflooringco.com	✓
BP #5 - Tiling/Carpet/Base	FloorShow Corporation DBA: Home+FloorShow	C: 563.557.5592 O: 563.557.9952	jnechkash@homeandfloorshow.com	✓
BP #5 - Tiling/Carpet/Base	Randy's Flooring	C: 319.775.2745 O: 319.393.1400	bryce.hampton@randysflooring.com	✓
BP #6 - Painting	Allied Construction & Color Inc.	C: 563.723.9928 O: 563.355.2651	jzirkel@alliedconst.com	✓
BP #6 - Painting	CertaPro Painters	C: 319.431.9442 O: 319.294.4322	jsallee@certapro.com	✓
BP #6 - Painting	Modern Painting, Inc.	C: 319.269.2403 O: 319.234.7225	saulmark@aol.com	✓
BP #6 - Painting	Young's Painting & Decorating, Inc.	C: 319.327.0786 O: 319.334.4786	kenty@youngspaintinginc.com	✓

Kirkwood Community College - East Hall Renovation

SOQs Received & Approved - Subcontractor Prequalification to Bid

Bid Package	Company	Phone	Email	Approved?
BP #7 - Fire Suppression	Blackhawk Automatic Sprinklers, Inc.	C: 319.242.2324 O: 319.266.7721	jkruger@blackhawksprinklers.com	✓
BP #7 - Fire Suppression	Elite Fire Sprinkler Systems	C: 319.200.2277 O: 319.440.5081	ryoung@elitefiresprinklersystems.com	✓
BP #7 - Fire Suppression	Midwest Automatic Fire Sprinkler Co.	C: 563.370.1099 O: 563.388.6647	randyrock@midwestfiresprinkler.com	✓
BP #7 - Fire Suppression	Vrban Fire Protection, Inc.	C: 319.883.9199 O: 319.338.7343	kraig@vrbanfireprotection.com	✓
BP #8 - Mechanical Complete	All Temp Refrigeration (ATR)	C: 319.893.3263 O: 319.362.8367	b.reed@alltempcr.com	✓
BP #8 - Mechanical Complete	Bowker Pinnacle Mechancial	C: 319.521.6638 O: 319.364.2403	bzeller@bowkerpinnacle.com	✓
BP #8 - Mechanical Complete	Brecke Mechanical Contractors	C: N/A O: 319.396.7055	aaron.bolson@brecke.com	✓
BP #8 - Mechanical Complete	Day Mechanical Systems	C: 319.440.7007 O: 319.362.9060	akinion@daymechanical.com	✓
BP #8 - Mechanical Complete	D&S Sheetmetal, Inc.	C: 319.551.4515 O: 319.362.2472	tgrommon@ds-sheetmetal.com	✓
BP #8 - Mechanical Complete	Fosters Kraus Mechanical Group, Inc.	C: 319.480.3218 O: 319.377.6325	briank@fosterskraus.com	✓
BP #8 - Mechanical Complete	Hanna Plumbing & Heating, LLC	C: N/A O: 319.377.2809	rob@hannaplumbingheating.com	✓
BP #8 - Mechanical Complete	Hometown Mechancial	C: 563.529.4254 O: 563.381.4800	shaneb@hometownmechanical.com	✓
BP #9 - Electrical Complete	Ace Electric, Inc.	C: N/A O: 319.626.3007	jhess@aceelectricia.com	✓
BP #9 - Electrical Complete	A&G Electric	C: 563.590.5314 O: 563.588.4253	c.grobstick@agelectricdubuque.com	✓
BP #9 - Electrical Complete	Justice Electric	C: 319.533.2394 O: 319.366.1546	joe@justiceelectric.com	✓
BP #9 - Electrical Complete	Kline Electric	C: 563.543.9501 O: 319.249.0786	jknepper@teamkline.com	✓
BP #9 - Electrical Complete	Nelson Electric Co.	C: 319.533.2771 O: 319.366.6257	heathe@nelsonelectric.com	✓
BP #9 - Electrical Complete	Neumiller Electric, Inc.	C: 641.224.2958 O: 319.665.9036	nate@neumillerelectric.com	✓
BP #9 - Electrical Complete	Premier Electrical Services Co.	C: 319.929.8723 O: 319.393.4531	bo@premierelectricalservicesco.com	✓
BP #9 - Electrical Complete	Price Industrial Electric	C: N/A O: 319.393.6406 Ext. 239	phada@priceelectric.us	✓
BP #9 - Electrical Complete	Van Maanen Electric, Inc.	C: 641.780.6154 O: 641.791.9473	jhetzler@vanmaanenelectric.com	✓